



Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Fax: (860) 945-4706

Website: www.watertownct.org

THIS MEETING WILL BE AN IN-PERSON MEETING AND WILL ALSO BE AVAILABLE VIA ZOOM IN LISTEN ONLY MODE.

A LINK WILL BE POSTED ON THE DAY OF THE MEETING. PLEASE SEE WWW.WATERTOWNCT.ORG UNDER THE CALENDAR OF MEETINGS

**TOWN OF WATERTOWN
CONSERVATION COMMISSION & INLAND WETLANDS AGENCY
MEETING AGENDA**

Thursday, February 12, 2026, 6:30 p.m.

Town Council Chambers, 61 Echo Lake Road – Watertown, CT

Hybrid Meeting

1. **Call to Order**
2. **Roll Call**
3. **Public Participation**
4. **Approval of Minutes**
 - a. Regular Meeting January 8, 2026
5. **Public Hearing**
 - a. **App #2025-18 – Henry Berberat – 7 Caruso Drive:** Demolition and reconstruction of a single-family house, and installation of a seawall, dock, and creation of beach area. *Application received on 10/9/25, site walk held on 11/8/25, public hearing opened and continued on 1/8/26.*

6. Pending Applications

- a. **App #2025-18 – Henry Berberat – 7 Caruso Drive:** Demolition and reconstruction of a single-family house, and installation of a seawall, dock, and creation of beach area. *Application received on 10/9/25, site walk held on 11/8/25, public hearing opened and continued on 1/8/26.*

7. New Applications

- a. **App #2026-01 – Geoffrey Miko – 54 Rockdale Avenue:** Build a 16' x 20' addition to an existing garage. *Application received 2/12/26.*
- b. **App #2026-02– TFF Services LLC – Tyler Falcone, 30 Bussemey Avenue, Oakville,** Placement of boulders to mitigate further erosion to the back of Turkey Brook. *Application received 2/12/26*
- c. **App #2026-03 – Taft School – 110 Woodbury Road:** Construction of two new 10,546 ft² dormitories along with associated site improvements and utility infrastructure. *Application received 2/12/26.*

8. Old Business

9. New Business

10. Correspondence and Bills

- Connecticut Land Conservation Council dated January 5, 2026
- CAWS Annual Meeting and Wetlands Conference March 4, 2026

11. Public Participation

12. Reports

- a. Officer and Committee Reports
- b. Chairperson's Report
- c. Staff Reports

13. Election of Officers

- President, Vice President, & Secretary

14. Annual Bylaw Review

15. Adjournment

**TOWN OF WATERTOWN
CONSERVATION COMMISSION & INLAND WETLANDS AGENCY
MEETING MINUTES**

**Thursday, January 8, 2026, 6:30 p.m.
Watertown Municipal Center, 61 Echo Lake Road**

1. Call to Order

Chairman Ned Dalton called the meeting to order at 6:30 pm.

2. Roll Call

Members Present - N. Dalton (Chairman), T. Murphy (V. Chairman), C. Palmer, J. Polletta, L. Cavallo, M. Jedd, J. Noyd.

Others Present – C. Natusch (Inland Wetland Officer), P. Bunevich (Town Engineer), C. Allen (Admin. Assistant).

Members Absent – A. Lampart, D. Anctil.

Appointment of Alternates – None.

N. Dalton appointed M. Jedd as Secretary for the meeting.

J. Polletta moved to add an item to the agenda under 10. New Business: *Transfer of CCIWA App #2023-11 10x Hamilton Lane, Watertown, CT.* T. Murphy seconded and the motion to add an agenda item under New Business carried unanimously.

3. Public Participation:

- **Francis McQuade, 99 Caruso Drive** – Doesn't have any objections to the 7 Caruso Drive application as it will be an improvement to the condition of the property.
- **Richard Collier – 121 Caruso Drive** – Stated that he will be sharing a driveway with the applicant and has no objections to the project. R. Collier also noted that the property has been in disrepair for many years.

4. Action on Minutes

- a. Regular Meeting – January 9, 2025
- b. Regular Meeting – February 13, 2025
- c. Regular Meeting – March 13, 2025
- d. Regular Meeting – April 10, 2025

- e. Regular Meeting – May 15, 2025
- f. Regular Meeting – June 12, 2025
- g. Regular Meeting – July 10, 2025 (No Meeting)
- h. Regular Meeting – August 14, 2025
- i. Regular Meeting – September 11, 2025 (Cancelled)
- j. Regular Meeting – October 9, 2025
- k. Regular Meeting – November 13, 2025 (Cancelled)
- l. Regular Meeting – December 11, 2025

J. Polletta moved to approve minutes 4a→ 4l. J. Noyd seconded and N. Dalton brought the motion to a vote with J. Polletta and J. Noyd voting in the affirmative. N. Dalton, C. Palmer, T. Murphy, L. Cavallo, & M. Jedd voting in the negative. Motion failed to carry.

5. Continued Public Hearings: None.

6. New Public Hearings

- a. **App #2025-18** Henry Berberat, 7 Caruso Drive, demolition and reconstruction of a single-family house, and installation of a seawall, dock, and creation of beach area.

M. Jedd read the public hearing rules into the record. Present for the application was attorney F. Pilicy and applicant Henry Berberat. F. Pilicy submitted the proof of notice to C. Allen before giving a history of the property. The proposal is to raze an existing single-family dwelling and rebuild, as well as the installation of a septic system. F. Pilicy stated that a letter from Barton Bovee P.E. was previously submitted as part of the application record that states that the project will have no adverse impact on the lake. It was also noted by F. Pilicy that soil scientist Ian Cole submitted a similar letter on the application and added that the plan has the potential to be a net benefit as the existing sewage system will be upgraded to a code compliant septic system.

M. Berberat stated that a persisting issue with the application is that a site walk found that trees had been removed from the site within the upland review area. The reason for the clearing was to dig test pits for the septic system. During this process the contractors ran into ledge in several of the test pits leading them to have to clear more for a total of 4 test pits. F. Pilicy offered that the applicant is willing to work with the Town Engineer to develop a planting plan to remediate the affected areas as a condition of application approval. F. Pilicy noted that there were two members of the public that spoke in favor of the application (F. McQuade & R. Collier), although they did not speak during the public hearing.

Commissioner L. Cavallo provided satellite photos taken before and after the tree removal that show trees had been removed along the lakeshore. L. Cavallo added that all other application along lake Winnemaug approved by the Commission had a 50' buffer along the shore where no vegetation was to be removed. N. Dalton stated that at the site walk the applicant had mentioned there was grading and fill work done along the lakeshore and asked for clarification as to the extent of these activities. M. Berberat responded that the only fill work was to repair the areas disturbed by the septic test pits. M. Jedd requested the applicant provide more detail on how the dock and seawall will be constructed and that they prepare this information for the next meeting. N. Dalton then reminded the applicant that a landscape remediation plan was also required.

Town Engineer P. Bunevich stated that other site elements, including parts of the driveway, are located within the regulated area and that due to the length of the driveway pull-offs will be required and need to be added to the plans. N. Dalton asked what the surface of the driveway would be and what the final impervious coverage would be for the site. M. Berberat responded that he plans to pave the driveway and will add the detail of pavement and impervious coverage to the plans.

With no further discussion or public comment L. Cavallo moved to continue the public hearing for App #2025-18 to the 2/12/26 meeting. T. Murphy seconded and the motion to continue carried unanimously.

7. Pending Applications

- a. **App #2025-18** Henry Berberat, 7 Caruso Drive, demolition and reconstruction of a single-family house, and installation of a seawall, dock, and creation of beach area.

L. Cavallo moved to table App #2025-18 to the 2/12/26 meeting. T. Murphy seconded and the motion to table carried unanimously.

8. New Applications: None.

9. Old Business: None.

10. New Business

- a. **Transfer of App #2023-11**, 10x Hamilton Lane, Watertown, CT.

Attorney Micheal McVerry was present on behalf of the property owner who is under contract with Napoli Properties, LLC to purchase 10x Hamilton Lane and is requesting

that the permit be transferred from the Biello's to Napoli Properties, LLC with the same conditions of the existing permit #2023-11.

J. Polletta moved to approve the Transfer of App #2023-11 to Napoli Properties, LLC. T. Murphy seconded and the motion to transfer carried unanimously.

11. Communication and Bills: None.

12. Public Participation: None.

13. Reports for Officers and Committee: None.

14. Chairperson's Report: None.

15. Reports from Staff

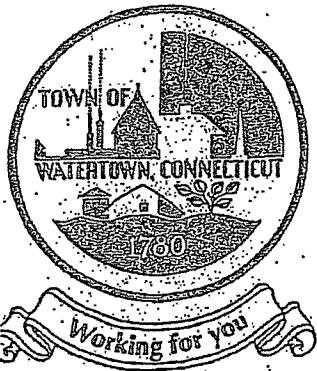
C. Natusch reported that an agent determination was made at the direction of the Commission via vote at the December meeting for 59 Knight Street.

16. Adjournment

J. Polletta moved to adjourn at 7:20 pm. L. Cavallo seconded and the motion to adjourn carried unanimously.

Respectfully submitted,

Spencer Musselman, CZEO
Land Use Administrator
Town of Watertown, CT



Town of Watertown Connecticut
Conservation Commission/Inland Wetland Agency
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795
Telephone: (860) 945-5266 Fax: (860) 945-4706
Website: www.watertownct.org

Conservation Commission/ Inland Wetland Agency
Town of Watertown, Connecticut

Application for Permit

Permit Application Number: _____
Property Location: 7 CARUSO DR

For Commission Use Only

Application Fee: _____
Date of Receipt by the Land Use Office: _____
Date of Receipt by Agency: _____
Date of "Significant Activity" Determination: _____
Significant Activity Fee Paid: _____
Date of Public Hearing (if applicable) _____
Action by Agency: _____
Bond Requirement: _____
Permit Expiration Date: _____
Permit Initiation Date: _____

INSTRUCTION

All applicants must complete Section I of this application form for preliminary review. If the Agency determines that the activity described herein constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section I, the applicant may submit any other supporting documents or facts which may assist the Commission in its evaluation of this proposal. Incomplete applications will be rejected by the Commission.

1. Name of Applicant: HENRY BERBERAT
 Home Address: 62 LAKE WINNEMAUG RD
 Business Address: _____
 Home Telephone #: 860-417-2345 Mobile 860-417-8453
 Business Telephone # _____ Mobile _____
 E-Mail: HBERBERAT@GMAIL.COM

2. Applicant's Interest in Land:
 Owner Lessee Contract Purchases Other – Please Describe

3. Name of Property Owner: HENRY BERBERAT
 Home Address: 62 LAKE WINNEMAUG RD
 Business Address: _____
 Home Telephone: 860-417-2345 Mobile 860-417-8453
 Business Telephone _____ Mobile _____
 E-Mail: _____

4. Name of Authorizing Agent: _____
 Business Address: _____
 Telephone #: _____ Mobile _____
 E-Mail: _____

5. Property owner's consent to the activities proposed in this application:
 Date: _____
 Witnessed by: _____ Date: _____

6. Geographical Location of subject property:
7 CARUSO DR, ON LAKE WINNEMAUG

A. Attach a vicinity map prepared at a scale of one inch equals 1,000 feet, or larger, which is of sufficient detail to allow identification of the property on the Inland Wetlands and Water Courses Map, Town of Watertown, Connecticut.

B. Is the property located farther than 500 feet from any adjoining town or city boundary? (Circle one): (Yes) (No)

If no, identify which of these municipalities is located within 500 feet of the site:

Bethlehem Middlebury Morris Thomaston Waterbury Woodbury

7. Purpose and Description of the Proposed Activities, Use or Operation:

A. List below or attach a narrative describing all aspects of the proposal including area computations of all wetlands, watercourses, and upland review areas to be altered; type and volume of material to be deposited or removed, separating distances between proposed regulated activities and wetlands and/or top of bank of any watercourses.

INSTALLATION OF SEAWALL AND DOCK
CREATION OF BEACH AREA

DEMO OF EXISTING HOUSE

CONSTRUCTION OF NEW HOUSE

- B. List below or attach a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the permit requested herein. Also, attach drawings or diagrams which show the alternatives considered.

NONE

- C. Attach a site development plan showing existing and proposed conditions in relation to wetlands and watercourses.

- D. Steps taken to avoid wetlands, watercourses and upland review area

NONE. THERE ARE NO WETLANDS
OTHER THAN THE LAKE ITSELF

- E. Steps taken to minimize impacts to wetlands, watercourses and upland review area

SILT FENCE

F. Steps taken to mitigate impacts to wetlands, watercourses and upland review area

NONE

G. Describe soil types and existing vegetations of the site

SEE NOTES ON PROPOSED PLAN

H. Describe proposed erosion and sediment control plan using 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Chapter/Page)

SEE NOTES ON PROPOSED PLAN

8. Provide the names and addresses of all property owners whose land abut, or are located directly across the street from the property which is the subject of this application.

FRANCIS McQUADE, 99 CARUSO DR
RICK COLLIER, 121 CARUSO DR.

9. The applicant shall certify the following information by circling the appropriate word(s)

- A. Traffic attributable to the completed project on the site (will/ will not) use streets within an adjoining municipality to enter the site
- B. Sewer or water drainage from the project site (will/ will not) flow through and impact the sewage or drainage system of another municipality
- C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality

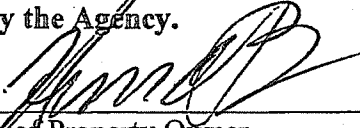
10. Complete the following section if the purpose of this application is to transfer, amend/modify a previously issued permit:

- A. Name of current permittee: _____
- B. Agency number of existing permit: _____
- C. Initiation date of existing permit: _____
- D. Expiration date of existing permit: _____
- E. State the reason why a transfer of permit is being sought or the authorized activities should be amended or modified. _____

F. Describe any changes in facts or circumstances involved with, or affecting wetlands or watercourses, or the property for which the permit was issued.

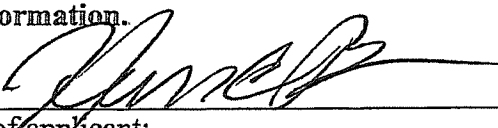
11. Complete the attached D.E.E.P. reporting form.

12. The undersigned hereby consents to necessary and proper inspections of the above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.



Signature of Property Owner 9/24/25
Date:

13. The undersigned swears that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.



Signature of applicant: 9/24/25
Date:



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SITE WALK/FIELD INSPECTION REQUIREMENTS

Dear Applicant/ Applicant Representative:

Please be advised that pursuant to Section 7 Article VII of the By-laws of Conservation Commission/ Inland Wetland Agency of Town of Watertown (the Agency) when the Agency determines that a field inspection/ site walk is appropriate, the Agency will set a time and place at the convenience of its members to gain on site knowledge of the proposed activities. The applicant or his agent/ representative, the design engineer and the Soil Scientist who delineated and flagged the wetlands/watercourses shall be present and the following shall be provided:

1. Adequate and safe access to the property
2. All wetlands and watercourses (permanent and intermittent) on the site shall be delineated and flagged by a certified Soil Scientist. Soil Scientist report shall be submitted with the application.
3. All building locations, access ways, onsite septic system locations and other regulated activities shall be marked on the site.
4. A copy of the proposed Site Plan shall be available on the site during the site walk/field inspection.

No testimony may be taken on the site walk/field inspection by the Commission.

Signature of Applicant:  Date: 9/24/25

Signature of Property Owner:  Date: 9/24/25

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

*Use a separate form to report EACH action taken by the Agency. Complete the form as described below.
Do NOT submit a reporting form for withdrawn actions.*

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
 - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B = Any Permit Denied by the Inland Wetlands Agency
 - C = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
 - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: http://clear.uconn.edu/data/map_set/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N".

- | | |
|---|---|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of concept, subdivision or similar plans with no on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the action/project/activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|---|--|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction (including related culverts) |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body." For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream." Remember, these figures represent only the acreage altered, not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses. For created - question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106
Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): WATER TOWN
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: 63
subregional drainage basin number: 6912
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): HENRY PERBERAT
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): 7 CARUSO DR.
briefly describe the action/project/activity (check and print information): temporary permanent description: INSTALL SEAWALL AND DOCK, CREATE BEACH AREA, BUILD NEW HOUSE
- ACTIVITY PURPOSE CODE (see instructions - one code only): K
- ACTIVITY TYPE CODE(S) (see instructions for codes): 2, 3
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: 0 acres open water body: 100' FT acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): .5 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

AFFIDAVIT

I, HENRY BERBELOT, WATERTOWN hereby depose and

say:

1. That I am over the age of 18 and believe in the obligation of an oath;
2. That I am the OWNER of 7 CARUSO DRIVE;
3. That I have an application pending before the Conservation Commission/ Inland Wetlands Agency which is subject to Section 9.4.a. to 9.4.i. of the Watertown Inland Wetlands and Watercourses Regulations concerning the posting of public hearing notices;
4. That I have fully complied with the regulation concerning posting of public hearing notices.

Subscribed and sworn to before me, this 25th day of September, 2005.

[Signature]

[Signature]
LISA DALTON
Commissioner of the Superior Court
Notary Public
My Commission Expires:

Subscribed and sworn to before me
This 25th day of September 2005
NOTARY PUBLIC
MY COMMISSION TO EXPIRE NOVEMBER 30, 2029

COLE

November 13, 2025

Mr. Henry C. Berberat
62 Lake Winnemaug Rd.
Watertown, CT 06795

Re: 7 Caruso Dr.
Watertown, Ct


Dear Mr. Berberat,

Per your request, I am writing this letter to confirm that in my professional opinion, the improvements proposed on the B100a Plot Plan prepared by Cole Civil + Survey, LLC will not adversely impact Lake Winnemaug.

The lake will be protected by erosion and sedimentation controls and narratives during the construction process. Any possible long-term effects shall be mitigated by a new septic system and a new storm water management system. The septic system is designed in accordance with the State of Connecticut Health Code and has been approved by the Torrington Area Health District. The storm water collection system proposed will provide storm water quality measures in accordance with the CT DEEP Storm Water Quality Control Manual.

Should you have any further questions or concerns, please do not hesitate to contact me.

Sincerely,


Barton Bovee, P.E.
Senior Engineer



Ian Cole, LLC

Professional Registered Soil Scientist / Professional Wetland Scientist

PO BOX 619

Middletown, CT 06457

Itcole@gmail.com

860-514-5642

November 27, 2025

Mr. Steve Giudice, P.L.S; Principal
Cole Civil + Survey, LLC
876 South Main Street
Plantsville, CT 06479

**RE: WETLAND DELINEATION REPORT
7 CARUSO DRIVE
BERBERAT PROPERTY
WATERTOWN, CONNECTICUT**

Dear Mr. Giudice:

At Cole Civil + Survey, LLC's request, I completed a delineation of the Connecticut jurisdictional freshwater inland wetlands and watercourses boundaries on the above referenced 2.35-acre residential parcel on Lake Winnemaug at 7 Caruso Drive in Watertown, Connecticut.

WETLAND DELINEATION METHODOLOGY

The wetland survey was completed in accordance with the standards of the Natural Resources Conservation Services (NRCS) National Cooperative Soil Survey and the definitions of inland wetlands and watercourses as found in the Connecticut General Statutes, Chapter 440, Sections 22a-36 through 22a-45 as amended. Wetlands, as defined by the Statute, are those soil types designated as poorly drained, very poorly drained, floodplain or alluvial in accordance with the NRCS National Cooperative Soil Survey. Such areas may also include disturbed areas that have been filled, graded, or excavated and which possess an aquic (saturated) soil moisture regime.

Watercourses means rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water, natural or artificial, vernal, or intermittent, public, or private, which are contained within, flow through or border upon the Town of Watertown or any portion thereof not regulated pursuant to sections 22a-28 through 22a-35, inclusive, of the Connecticut General Statutes. Intermittent watercourses are defined as having a

permanent channel and bank and the occurrence of two or more of the following characteristics: (a) evidence of scour or deposits of recent alluvium or detritus, (b) the presence of standing or flowing water for duration longer than a particular storm incident, and (c) the presence of hydrophytic vegetation.

WETLAND SURVEY RESULTS

An on-site wetland survey was completed on November 26, 2025. The on-site wetland survey sampled the upper 20" of the soil profile across the site with a hand auger to extract soil samples which were examined for the presence of hydric soil field indicators located on the property. All wetland and watercourse boundaries were flagged on the site.

The parcel is situated on a rocky peninsula that extends from the east shore of Lake Winnemauug. The site currently supports an abandoned residential dwelling that occupies the high rocky cliff above the lake. The new proposed residential re-development will override the existing home's (to be removed) footprint.

The flagged wetland boundary coincides with the Ordinary High-Water Mark (OHWM) of Lake Winnemauug, which for all practical purposes is the edge of the Lake. The OHWM is regulated by the Lake's surface water elevation at the Lake's Impoundment / spillway outlet. The shoreline along the lake's edge is steeply sloping and generally bound by a vertical 1:1 slope down to the water's edge (Photo 2).

Additionally, a small area of standing water / forested inland wetland occupies the low-lying land south of the driveway entrance; between the rock "island" and the mainland. This wetland is tied to the surface water elevation of the lake but is separated to the Lake's edge by a small 2-foot-wide earthen berm that disconnects the wetland from the Lake. The wetland in the dry summer months is rocky and nearly unrecognizable as such. The backwater trap-rock pocket wetland is demarcated by wetland flags 1 through 10. With exception of this small wetland pocket, I did not find any other hydric soil or indicators of jurisdictional freshwater inland wetlands or watercourses above the OHWM of the Lake's edge.

Wetland flags 1 through 43 represent the wetland limits as marked in the field. The attached sketch is intended for planning purposes and is subject to refinement once the wetland flags placed in the field are located and mapped by a Licensed Land Surveyor and the boundaries are formally adopted by the Town. Representative site photos are attached.

SOIL SURVEY

The soils identified on-site are in agreement with those mapped by the Natural Resources Conservation Service (NRCS) Websoil Soil Survey. A copy of the NRCS Web Soil Survey is attached

Wetland Soils

The edge of the pond is occupied by subaqueous soils of the permanently flooded littoral zone of Lake Winnemauug.

The manufactured poorly drained soils associated with standing water / wetland south of the driveway entrance identified by flags 1 through 10 are characterized as poorly drained Aquent soils. The Aquent (AQ) map unit is a miscellaneous soil type used to denote disturbed landscapes which have been subject to prior filling and/or excavation activities where two or more feet of the original soil surface has been filled over, graded, or excavated and where the natural soils have been mixed so that the natural soil horizons are not identifiable.

A typical soil profile along the wetland boundary consists of approximately 4"-0" of intermediately decomposed organic material (Oi), followed by 0"-8" of a thick dark topsoil horizon (A), underlain by 8"-20" of a wet weakly developed grayish subsoil horizon (Bg) with common redoximorphic features (Common medium distinct strong brown mottles, masses) ranging from fine sandy loam to very fine sandy loam. This subsoil is underlain by a saturated sandy loam to fine sandy loam gray substratum (2Cg).

Upland Soil

The majority of the naturally occurring upland soils are mapped and characterized as belonging to the well-drained Charlton-Chatfield fine sandy loam soil series. Chatfield soils are associated with shallow soils and a bedrock-controlled landscape. Because of the bedrock-controlled nature of the landscape subsurface drainage can also be a limiting factor for development as perched water tables are generally present when co-associated with these soil types and landscapes.

I have reviewed the subject site plans and in my professional opinion the site development as proposed is "in keeping" with a typical waterfront lake development, provides erosion and sediment controls that will mitigate temporary construction impacts and provides site restoration for long term site stabilization; therefore the project should not adversely impact Lake Winnemaug.

If you have any questions or comments, please do not hesitate to contact me at itcole@gmail.com or (860) 514-5642

Sincerely,



Ian T. Cole
Professional Registered Soil Scientist
Professional Wetland Scientist #2006

ATTACHMENTS

GIS LOCUS MAP
WETLAND SKETCH
NRCS MAP
SITE PHOTOS



Town of Watertown

Connecticut

06795

reletter 10/9/25

Town of Watertown
Public Works Department
Heminway School Town Hall
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5240
Fax (860) 945-2707
www.watertownct.org

Date: October 9, 2025

To: Cameron Natusch, Assistant Administrator for Land Use and Building
Services/WEO

From: Paul Bunevich, Town Engineer

Subject: Henry J. Berberat Jr.
B100a Plot Plan
7 Caruso Drive
Watertown, CT

I have reviewed the Plot Plan, dated September 17, 2025, by Cole Civil + Survey for the above referenced project. I have the following comments for your consideration:

- 1) The Upland Review Area boundary is shown as 100 feet; this needs to be updated to the new 150 foot Review Area. This means the entire proposed site activity is within the Upland Review Area.
- 2) The calculations for the Underground Infiltration Chamber should be updated to the 2024 Stormwater Quality Manual's new standard of 1.3 inches of rainfall for the "first flush" treatment volume.
- 3) Due to the proximity of the proposed activities to Lake Winnemaug, the Commission may require landscape buffer/planted berms to mitigate possible erosion or septic leaching area breakout into the Lake.
- 4) The existing bituminous concrete driveway appears to be less than ten feet wide in certain areas. Any proposed widening to the driveway should be shown, as it might be within the Upland Review Area and subject to further review by the Commission.

If you have any questions please let me know.

Cc: C. Allen
S. Giudice



TOWN OF WATERTOWN CONNECTICUT
WATERTOWN MUNICIPAL CENTER

61 Echo Lake Road

Watertown, Connecticut 06795-2200

Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency

Telephone: (860) 945-5266

Fax: (860) 945-4706

December 19, 2025

Henry Berberat

62 Lake Winnemaug Road

Watertown, CT 06795

Re : **Stop Work**

Dear Mr. Berberat,

This letter is a reminder that no demolition, construction, digging, or other such activities can be conducted at 7 Caruso Drive, Watertown, CT within any wetlands or upland review areas without a wetlands permit approval.

If you have any questions or need any clarification, please reach out to me. I can be reached through email at natusch@watertownct.org, by phone at 860-945-5266 and in person at 61 Echo Lake Road Watertown, CT 06795.

Best regards,

Cameron Natusch

Assistant Zoning and Wetlands Officer

Watertown, CT



Town of Watertown Connecticut
Conservation Commission/ Inland Wetland Agency
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5266
www.watertownct.org

Conservation Commission / Inland Wetland Agency
Town of Watertown, Connecticut

Application for Permit

Permit Application Number: _____

Property location: 54 Rockdale Ave

INSTRUCTIONS

All applicants must complete Section 1 of this application form for preliminary review. If the Agency determines that the activity described constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section 1, the applicant may submit any other supporting documents or facts which may assist the commission in its evaluation of the proposal. Incomplete applications will be rejected by the commission.

1. **Name of Applicant:** Geoffrey Wilko
Business or Home Address: 54 Rockdale Ave Oakville CT
Telephone #: _____ **Mobile#:** 203 560 1040
Email: JBWIKO@HOTMAIL.COM

2. **Applicant's Interest in Land:**
 Owner Lessee Contract Purchases Other – Please Describe
To build 15 x 20 Addition to existing garage

3. **Name of Property Owner:** Geoffrey Wilko
Address: 54 Rockdale Ave Oakville CT
Telephone #: _____ **Mobile** 203 560 1040
Email: _____

4. Name of Authorized Agent: Geoffrey Miko
Address: 54 Rockdale Ave Oakville CT
Telephone #: _____ Mobile 203 580 1040
Email: _____

5. Property owner's consent to the activities proposed in this application:
No ~~Yes~~ to addition to garage Date: 01/12/26
Geoffrey Miko

6. Geographical Location of subject property:
54 Rockdale Ave Oakville CT

A. Attach a vicinity map prepared at a scale of one-inch equals 1,000 feet, or larger, which is of sufficient detail to allow identification of the property on the Inland Wetlands and Water Courses Map, Town of Watertown, Connecticut.

B. Is the property located within 500 feet of any adjoining town or city boundary?
Yes or (No)

If yes, identify municipalities:

() Bethlehem () Middlebury () Morris () Thomaston () Waterbury () Woodbury

7. Purpose and Description of the Proposed Activities, Use or Operation.

A. List below or attach a narrative describing the proposal including area computations of all wetlands, watercourses, and upland review areas to be altered; type and volume of material to be deposited or removed, separating distances between proposed regulated activities and wetlands and/or top of bank of any watercourses. Attach a site development plan.

Proposed addition to existing garage would be 16' w x 20' L
Attached to back of existing garage, excavation for front wall
foundation to match existing and excavated soil to be used
in backfill of new foundation. The proposed addition would be
101.6 ft from rear property line. Total area of proposed addition
to garage would be 320 sq ft. Distance between rear of addition
closest point to steel brook would be 100 ft once foundation is
installed all disturbed areas of lawn to be reseeded and
restored to current conditions

B. Provide a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the requested activity. Attach drawings or diagrams which show the alternatives considered.

one alternative initially considered was to purchase a pre built structure, shed, garage. This idea was rejected, because it would place the structure further into the upland review area and further encroach upon the setback. By attaching to the existing structure this setback distance can be maximized. For this reason, a full on addition would be the least impactful.

C. Steps taken to avoid or minimize impacts to wetlands and upland review area.

Survey of property to determine if structure could be built anywhere on property without encroachment.

D. List any mitigation or enhancement measures if avoidance is not possible.

E. Provide a report from a qualified soil scientist.

F. Describe the proposed erosion and sediment control plan.

- 1 minimize excavation area to only what is necessary for frost wall foundation
- 2 soil to be kept around work area and to be reused as backfill for new foundation
- 3 installation of silt fence

PLEASE ANSWER THE FOLLOWING STATEMENTS

8. The applicant shall certify the following information by circling the appropriate word(s).

A. Traffic attributable to the completed project on the site (will/will not) use streets within an adjoining municipality to enter the site. YES OR NO

B. Sewer or water drainage from the project site (will/will not) flow through and impact the sewage or drainage system of another municipality. YES OR NO

C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality. YES OR NO

9. Complete the following section if the purpose of this application is to transfer, amend/ modify a previously issued permit:

A. Name of current permittee: _____

B. Agency number of existing permit: _____

C. Initiation date of existing permit: _____

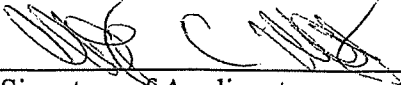
D. Expiration date of existing permit: _____

10. Complete the attached D.E.E.P. reporting form.

11. The undersigned hereby consents to necessary and proper inspections of above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.

  01/12/26
Signature of Property Owner Date:

12. The undersigned attest that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.


 01/12/26
Signature of Applicant Date:

AFFIDAVIT

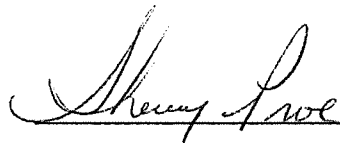
I, Geoffrey Minkof, 54 Rockdale Ave. hereby depose and
Oakville, CT 06779
say:

1. That I am over the age of 18 and believe in the obligation of an oath;
2. That I am the Owner of 54 Rockdale Ave Oakville, CT 06779
3. That I have an application pending before the Conservation Commission/ Inland Wetlands Agency which is subject to Section 9.4.a. to 9.4.i. of the Watertown Inland Wetlands and Watercourses Regulations concerning the posting of public hearing notices;
4. That I have fully complied with the regulation concerning posting of public hearing notices.

Subscribed and sworn to before me, this 12th day of January, 2002026



Geoffrey Minkof



Commissioner of the Superior Court
Notary Public Sherry Proc
My Commission Expires: 12/31/2030

Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: www.watertownct.org



SITE WALK/FIELD INSPECTION REQUIREMENTS

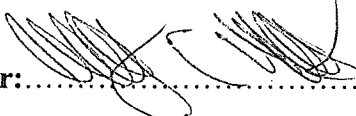
Dear Applicant/ Applicant Representative:

Please be advised that pursuant to Section 7 Article VII of the By-laws of Conservation Commission/ Inland Wetland Agency of Town of Watertown (the Agency) when the Agency determines that a field inspection/ site walk is appropriate, the Agency will set a time and place at the convenience of its members to gain on site knowledge of the proposed activities. The applicant or his agent/ representative, the design engineer and the Soil Scientist who delineated and flagged the wetlands/watercourses shall be present and the following shall be provided:

1. Adequate and safe access to the property
2. All wetlands and watercourses (permanent and intermittent) on the site shall be delineated and flagged by a certified Soil Scientist. Soil Scientist report shall be submitted with the application.
3. All building locations, access ways, onsite septic system locations and other regulated activities shall be marked on the site.
4. A copy of the proposed Site Plan shall be available on the site during the site walk/field inspection.

No testimony may be taken on the site walk/field inspection by the Commission.

Signature of Applicant:  Date: 01/12/26

Signature of Property Owner:  Date: 01/12/26

Inland Wetland Fee Schedule

Residential uses means activities carried out on property developed for permanent housing or being developed to be occupied by permanent housing.

Commercial and industrial uses means activities carried out on property developed for industry, commerce, trade, recreation or business or being developed to be occupied for such purposes, for profit or nonprofit.

An additional \$60.00 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.

Other uses means activities other than residential, commercial or other industrial uses.

| | |
|----------------------------|---------|
| Permitted uses as of right | \$0.00 |
| No regulated uses | \$35.00 |

REGULATED USES

Residential Uses

| | |
|---|----------|
| Single Lot | \$125.00 |
| Proposed Subdivisions Plus \$50.00 per each proposed lot | \$250.00 |

Commercial and Industrial Uses

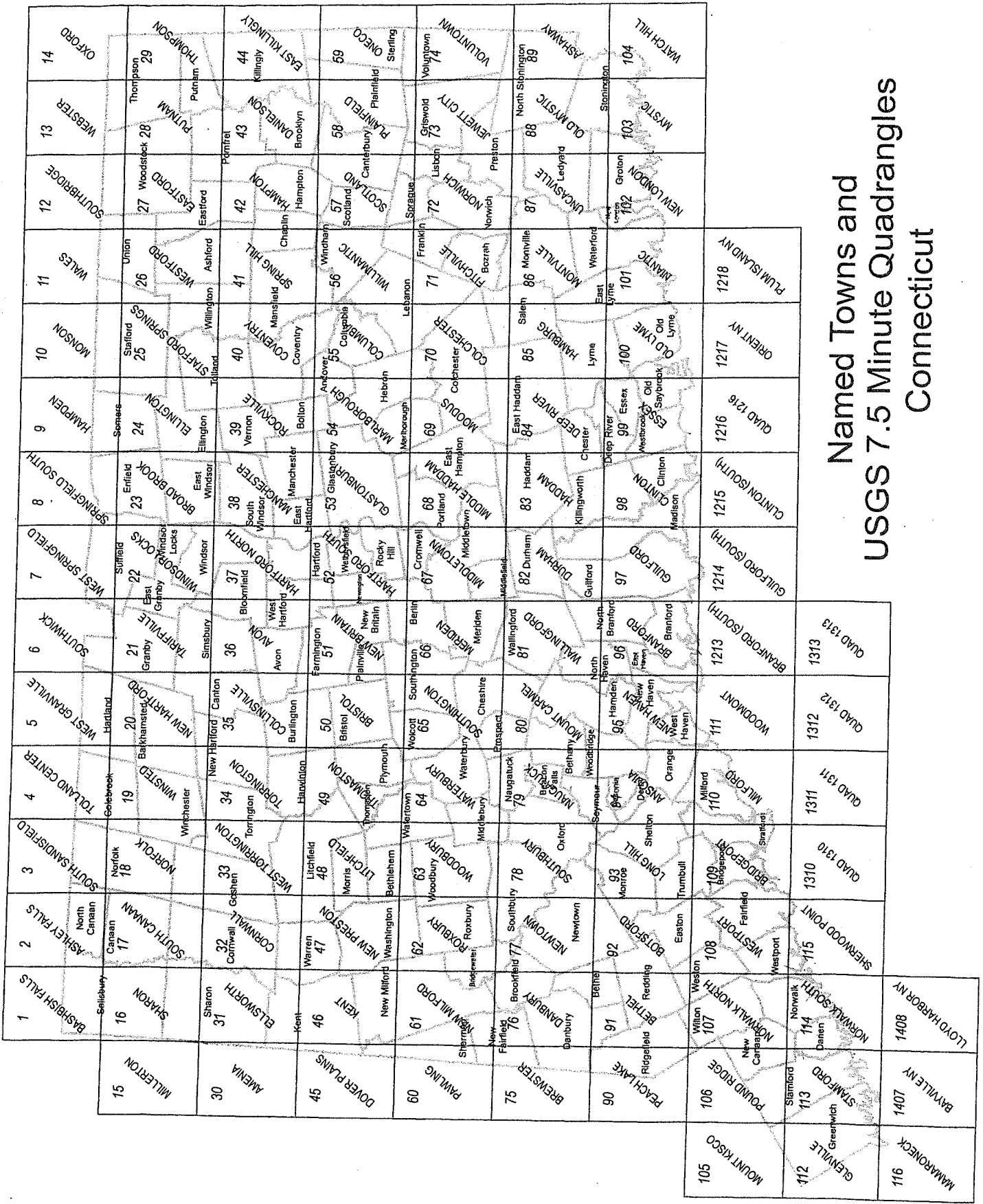
| | |
|---|----------------------------|
| Regulated Area Plus \$25.00 per acre of regulated area | \$250.00 |
| All other uses | \$150.00 |
| Significant Activity fee/ Public Hearing Fee | \$350 .00 |
| Map Amendment Petitions | \$200.00 plus \$25.00/acre |
| Modification of Previous Approval | \$100.00 (Permit Approval) |
| Transferal of an Existing Permit | \$50 |

No application shall be granted or approved by the Conservation Commission/ Inland Wetland Agency unless the correct application fee is paid in full or unless a waiver has been granted by the Conservation Commission/ Inland Wetland Agency pursuant to subsection 4.14 of the Town Fee Ordinance #09-20-93-134.

The application fee is not refundable. Fees shall be paid by either cash, check or creditcard.

All checks should be made payable to the 'Town of Watertown. Prior to holding a public hearing, the \$350.00 significant activity fee (public hearing fee) must be paid to the Planning and Zoning Office prior to the public hearing being scheduled and advertised in the newspaper.

An application will be considered incomplete if all the required fees are not paid.



Named Towns and USGS 7.5 Minute Quadrangles Connecticut

| | | | | | |
|-----|--------------|------|-------------|------|----------------|
| 116 | MAARONECK | 1407 | BRYLENY | 1408 | LOD HARBOR NY |
| 112 | GREENVILLE | 1407 | STAMFORD | 1407 | NORWALK SOUTH |
| 106 | POUND RIDGE | 107 | WESTPORT | 108 | SHERWOOD POINT |
| 90 | PEACH LAKE | 91 | BETHEL | 92 | NEWTON |
| 75 | BREWSTER | 76 | NEW MILFORD | 77 | SOUTHURY |
| 60 | PAYLING | 61 | NEW MILFORD | 62 | WATERBURY |
| 45 | DOVER PLAINS | 46 | KENT | 47 | NEW PRESTON |
| 30 | AMENIA | 31 | ELSWORTH | 32 | CORNWALL |
| 15 | MILLERTON | 16 | SHARON | 17 | SOUTH CANAAN |

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

*Use a separate form to report EACH action taken by the Agency. Complete the form as described below.
Do NOT submit a reporting form for withdrawn actions.*

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
 - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B = Any Permit Denied by the Inland Wetlands Agency
 - C = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
 - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.
Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>
ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: https://media.clear.uconn.edu/data/watershed_maps/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")



Connecticut Department of

ENERGY &
ENVIRONMENTAL
PROTECTION

GIS CODE #: _____
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): _____
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): _____
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): _____
briefly describe the action/project/activity (check and print information): temporary permanent description: _____
- ACTIVITY PURPOSE CODE (see instructions - one code only): _____
- ACTIVITY TYPE CODE(S) (see instructions for codes): _____, _____, _____, _____
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: _____ acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): _____ acres

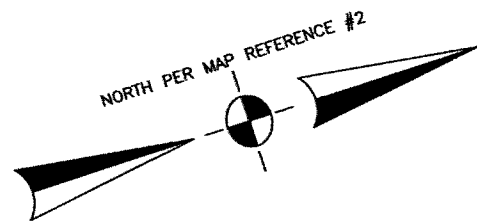
DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

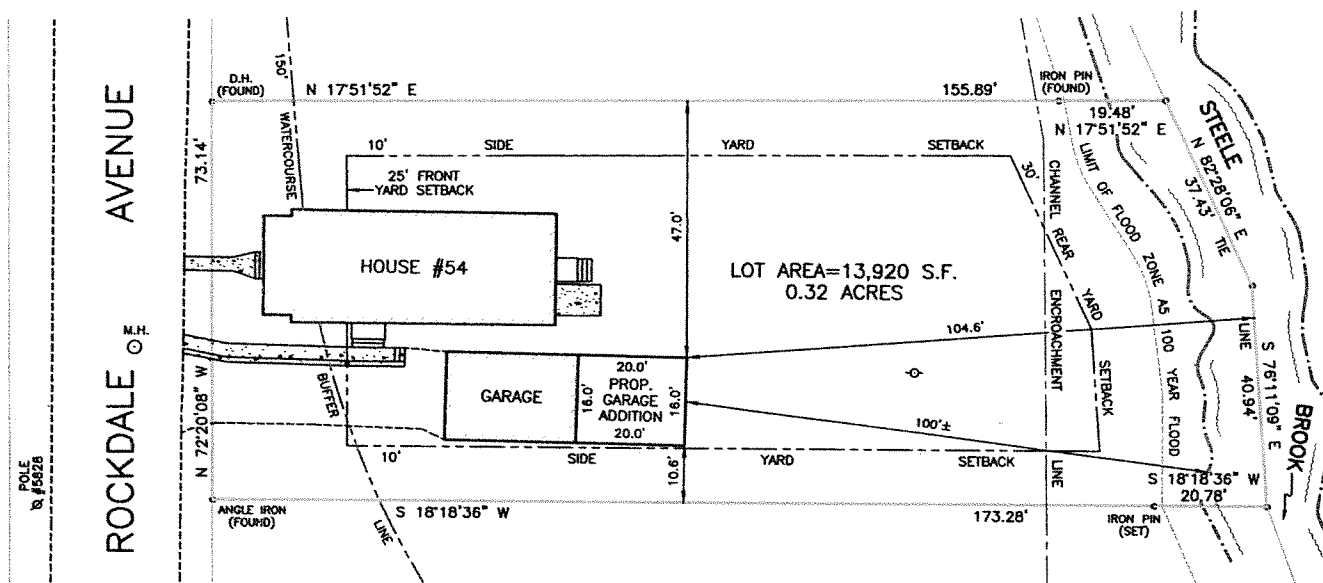
FORM CORRECTED / COMPLETED: YES NO



N/F
 AMY CHEVALIER BENDELL &
 DAVID ROBERT BENDELL
 VOL.2083 PG.173

RESIDENCE DISTRICT RG ZONING TABLE

| ITEM | REQUIRED/ALLOWED | PROVIDED |
|--------------------------|----------------------|-----------------------|
| MINIMUM LOT AREA | 7,500 SQUARE FEET | 13,920 SQUARE FEET |
| MINIMUM SQUARE | 75 FEET | 73 FEET |
| MINIMUM LOT FRONTAGE | 50 FEET | 73.14 FEET |
| MAX. BUILDING HEIGHT | 3 STORIES OR 35 FEET | LESS THAN 35 FEET |
| MINIMUM FRONT YARD | 25 FEET | N/A |
| MINIMUM REAR YARD | 30 FEET | 104.6 FEET |
| MINIMUM SIDE YARD | 10 FEET | 10.6 FEET & 47.0 FEET |
| MAX. BUILDING COVERAGE | 40% | 13.2% |
| MAX. IMPERVIOUS COVERAGE | 60% | 17.6% |



N/F
 PETER J. KARAS &
 DEANNA E. KARAS
 VOL.1254 PG.218

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulations of Connecticut State Agencies sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. Survey Type: Improvement Location Survey.
3. Boundary determination/opinion is based on a Dependent Resurvey.
4. This map conforms to class A-2 horizontal accuracy standards.

REFERENCE MAPS

1. Map of Property 54 Rockdale Avenue Oakville, Connecticut Prepared For John DeLarosa October 11, 1994 prepared by Meyers Associates, P.C.
2. Improvement Location Survey-Proposed Addition Prepared For Amy Chevalier Bendell & David Robert Bendell 60 Rockdale Avenue Watertown, Connecticut May 14, 2019 prepared by Smith & Company, Inc.
3. Map of Land of Seymour Smith & Son, Inc. Watertown, Connecticut January 21, 1985 revised to January 30, 1985 prepared by A.J. Patton Co.

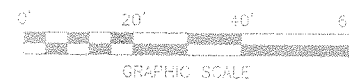
To the best of my knowledge and belief, this map is substantially correct as noted herein.

David P. Petroccia
 David P. Petroccia, L.S. CT License #18,627
 Not Valid Without Embossed Seal Affixed



**IMPROVEMENT LOCATION SURVEY
 PROPOSED GARAGE ADDITION
 PREPARED FOR GEOFFREY C. MIKO
 54 ROCKDALE AVENUE
 OAKVILLE, CONNECTICUT**

| | | |
|------------------------|---|------------------|
| DATE: JUNE 13, 2025 | OFFICE OF: DAVID P. PETROCCIA LICENSED LAND SURVEYOR 3 LAKE DRIVE OXFORD, CONNECTICUT 06478 | SCALE: 1"=20' |
| DRAWN: D. PETROCCIA | CHECKED: D. PETROCCIA | REVISIONS: |
| SHEET: 1 OF 1 | | |





Town of Watertown Connecticut
Conservation Commission/ Inland Wetland Agency
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5266
www.watertownct.org

**Conservation Commission / Inland Wetland Agency
Town of Watertown, Connecticut**

Application for Permit

Permit Application Number: _____

Property location: 110 Woodbury Road, Watertown, CT 06795-2100

INSTRUCTIONS

All applicants must complete Section 1 of this application form for preliminary review. If the Agency determines that the activity described constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section 1, the applicant may submit any other supporting documents or facts which may assist the commission in its evaluation of the proposal. Incomplete applications will be rejected by the commission.

1. Name of Applicant: TAFT SCHOOL (att: Jake Odden, Chief Financial Officer)
Business or Home Address: 110 WOODBURY ROAD, WATERTOWN, CT 06795-2100
Telephone #: (860) 945-7760 **Mobile#:** _____
Email: C/O jodden@taftschool.org

2. Applicant's Interest in Land:
 Owner Lessee Contract Purchases Other – Please Describe

3. Name of Property Owner: TAFT SCHOOL (Attn: Jake Odden, Chief Financial Officer)
Address: 110 WOODBURY ROAD & 107 NORTH STREET, WATERTOWN, CT 06795-2100
Telephone #: _____ **Mobile** (860) 945-7760
Email: C/O jodden@taftschool.org

4. **Name of Authorized Agent:** ATTY. STEPHANIE E. CUMMINGS
Address: CARMODY TORRANCE SANDAK & HENNESSY LLP
50 LEAVENWORTH STREET, WATERBURY, CT 06702
Telephone #: 203-575-2649 **Mobile** _____
Email: SCummings@carmodylaw.com

5. **Property owner's consent to the activities proposed in this application:**
_____ **Date:** _____

6. **Geographical Location of subject property:**
110 WOODBURY ROAD, WATERTOWN, CT

A. Attach a vicinity map prepared at a scale of one-inch equals 1,000 feet, or larger, which is of sufficient detail to allow identification of the property on the Inland Wetlands and Water Courses Map, Town of Watertown, Connecticut.

[See attached Exhibit A.](#)

B. Is the property located within 500 feet of any adjoining town or city boundary?
Yes or No

If yes, identify municipalities:

Bethlehem Middlebury Morris Thomaston Waterbury Woodbury

7. **Purpose and Description of the Proposed Activities, Use or Operation.**

A. List below or attach a narrative describing the proposal including area computations of all wetlands, watercourses, and upland review areas to be altered; type and volume of material to be deposited or removed, separating distances between proposed regulated activities and wetlands and/or top of bank of any watercourses. Attach a site development plan. [See attached Exhibit B1.](#)

[See attached Exhibit B1.](#)

B. Provide a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the requested activity. Attach drawings or diagrams which show the alternatives considered. [See attached Exhibit B2.](#)

C. Steps taken to avoid or minimize impacts to wetlands and upland review area. [See attached Exhibit B.3](#)

D. List any mitigation or enhancement measures if avoidance is not possible. [See attached Exhibit B.4](#)

E. Provide a report from a qualified soil scientist. [See attached Exhibit C.](#)

F. Describe the proposed erosion and sediment control plan. [See attached Exhibit D.](#)

PLEASE ANSWER THE FOLLOWING STATEMENTS

8. The applicant shall certify the following information by circling the appropriate word(s).

A. Traffic attributable to the completed project on the site (will/will not) use streets within an adjoining municipality to enter the site. YES OR NO

B. Sewer or water drainage from the project site (will/will not) flow through and impact the sewage or drainage system of another municipality. YES OR NO

C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality. YES OR NO

9. Complete the following section if the purpose of this application is to transfer, amend/ modify a previously issued permit:

A. Name of current permittee: _____

B. Agency number of existing permit: _____

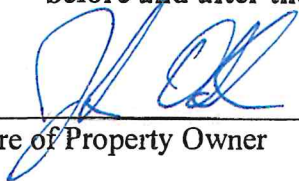
C. Initiation date of existing permit: _____

D. Expiration date of existing permit: _____

10. Complete the attached D.E.E.P. reporting form.

See form attached as Exhibit E

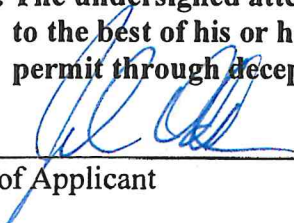
11. The undersigned hereby consents to necessary and proper inspections of above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.



Signature of Property Owner

Date: _____

12. The undersigned attest that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.



Signature of Applicant

Date: _____

Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

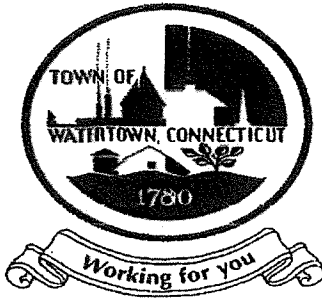
Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: www.watertownct.org



SITE WALK/FIELD INSPECTION REQUIREMENTS

Dear Applicant/ Applicant Representative:

Please be advised that pursuant to Section 7 Article VII of the By-laws of Conservation Commission/ Inland Wetland Agency of Town of Watertown (the Agency) when the Agency determines that a field inspection/ site walk is appropriate, the Agency will set a time and place at the convenience of its members to gain on site knowledge of the proposed activities. The applicant or his agent/ representative, the design engineer and the Soil Scientist who delineated and flagged the wetlands/watercourses shall be present and the following shall be provided:

1. Adequate and safe access to the property
2. All wetlands and watercourses (permanent and intermittent) on the site shall be delineated and flagged by a certified Soil Scientist. Soil Scientist report shall be submitted with the application.
3. All building locations, access ways, onsite septic system locations and other regulated activities shall be marked on the site.
4. A copy of the proposed Site Plan shall be available on the site during the site walk/field inspection.

No testimony may be taken on the site walk/field inspection by the Commission.

Signature of Applicant:..... **Date:**.....

Signature of Property Owner:..... **Date:**.....

IWA Exhibit A
GIS Location Map
1" = 200'

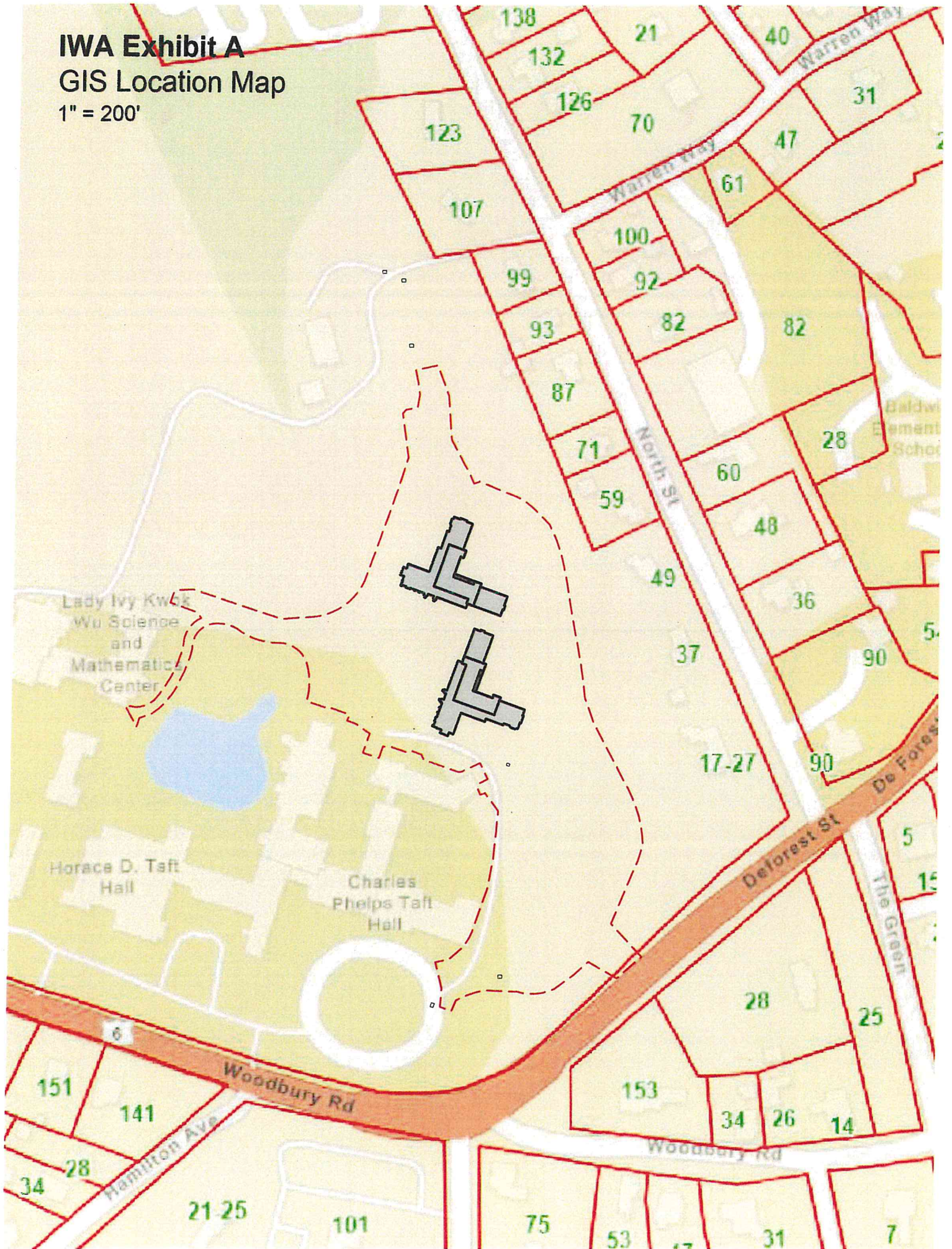


Exhibit B – Purpose and Description of the Proposed Activities, Use or Operation

Taft School Student Dormitories IWA Application

01-21-26

B1: Description of Proposed Activities

The applicant proposes construction of two new dormitory buildings for boarding students and day students along with associated site improvements and utility infrastructure. Total student population is not anticipated to change, however, there may be a slight shift in the balance from day students to boarding students. Work includes demolition or modification of existing site improvements such as parking areas, walkways, a softball field and site utilities.

New construction includes two new buildings (footprints of 10,546 sf each), walkways and quadrangle amenities, a new paved one-way access drive from the main campus arrival circle to the school's central plant area, relocated and new parking areas, utility services to the new buildings, including geothermal well fields, grading, landscaping and stormwater management improvements, such as rain gardens & chambered collection systems. Grade elevations have been set to provide a high level of connectivity and accessibility for pedestrians to existing campus walkway systems.

No disturbance is proposed within wetlands or watercourses. Work within the Regulated Upland Area ("RUA") is limited to new grading & filling, sidewalks & site light fixtures, stormwater discharge piping and a small segment of stormwater collection chambers, connections to existing piped systems, and a small number of geothermal wells (and related piping).

The proposed site grading within the RUA will require the import and placement of structural fill (approximately 2,000 cubic yards) below the building slabs and clean, open-graded gravels as subbase for the proposed walkways (approximately 250 cubic yards). Clean crushed stone will be used for the construction of the underground stormwater management area for the roof area drainage (approximately 750 cubic yards).

Area of wetland and watercourse disturbance equals 0 SF. Disturbance in the RUA equals 32,670 SF (0.75 acres)

B2: Alternatives to Proposal

- A. Consideration was given to the exclusive use of surface basins for stormwater management, however, the area required and overall disturbance within both the RUA and overall site would be greater than the applicant's proposal.

- B. Elimination of walkways within the RUA would result in longer pedestrian routes; students and faculty would likely develop incidental, unmaintainable travel paths over existing lawn areas resulting in on-going surface disturbance.
- C. Reducing the proposed building program would result in a project that does not satisfy the standards for housing (quantity and location) for the school in the context of long-range programming of school operations. Reducing footprint area through the addition of even more building stories is also not an available building strategy.

B3: Steps Taken to Avoid or Minimize Impacts

The project area is as compact and efficient as possible to minimize encroachment within regulated areas. Proposed new buildings are multi-story to blend with the existing campus character and minimize the necessary building footprint. Provisions for parking are limited to minimum necessary to support the faculty apartments only as student parking in this area will not be permitted.

Retaining walls are utilized to reduce project impact area compared to open slopes.

Stormwater discharge systems release to the first practical point in conveyance systems upstream from watercourses or waterbodies. The rate of runoff from the project area to discharge points has been managed to be less than existing conditions.

Disturbed surfaces will be replaced by new stable pavements (walkways), new landscape bed treatments or lawn, to be seeded as if new.

During construction, the site will be secured by a full complement of soil erosion and sediment controls as illustrated on the accompanying site plan drawings.

B4: Mitigation or Enhancement Measures

Stormwater water quality treatment is provided throughout the stormwater management systems by low-impact development (lid) strategies such as rain gardens, small surface stormwater management areas, and chambered collections systems, each of which contributes to rate reduction and water quality treatment.

Landscape treatments for the project provide for more diverse environments and flora than existing conditions (game field turf). In turn, this will create new habitat and foraging opportunities in an area where they do not presently exist.

Soil Resource Consultants

P.O. Box 752

Meriden, CT 06450

January 14, 2026

SRC Job No. 25-14

Henry Thomas, Principal, RL
LRC Group
160 West Street, Suite E
Cromwell, CT 06416

Dear Mr. Thomas:

**Re: Wetland Delineation – New Dormitory Project – Taft School – Rte 6, Woodbury Rd.
Watertown, CT**

At your request, I have completed an onsite investigation of this site. The purpose of my investigation was to identify and delineate the onsite inland wetlands and watercourse boundaries. The field work was completed on October 11, 2025.

The wetland and watercourse boundaries were marked with blue plastic flagging numbered **WF -1** through **WF-21** in the area of the existing Pond and **WF-1 to WF-10** and **WF-100 through WF-114** along the watercourse channel to the north. Please refer to the enclosed sketch for the approximate location of the inland wetland and watercourse boundaries and selected wetland flag numbers. The sketch is not drawn to scale but is a field drawn representation of wetland and watercourse configurations. Flag numbers at property lines and other readily identifiable landmarks can be used to locate wetland lines in the field.

The wetland soil map prepared for this site is a refinement of data found in the **Soil Survey of Litchfield County**. Each map unit is composed of a unique combination of soils. Areas with the same symbol have a similar soil composition.

The map units described below are based on data collected at this particular site. Soil surveys in Connecticut were originally conducted for primarily agricultural purposes and do not provide site specific information. The minimum area delineated on a soil survey map sheet is approximately 2-3 acres in size. For this reason there may be some differences between the following information and that published in the Soil Survey.

INLAND WETLAND SOILS

The identification of inland wetland areas on this site is based on my field observations of test borings and the guidelines of the **National Cooperative Soil Survey Program**. Test borings were done using a shovel and or hand auger.

In Connecticut, inland wetland soil categories include poorly drained soils, very poorly drained soils, alluvial and flood plain soils.

Aq

The **Aq** map unit consists primarily of disturbed soil materials with poorly drained characteristics generally less than 20 inches down from the existing soil surface. The natural soil profile has been disturbed by previous filling and or grading activities. Classification into natural soil map units is not possible. This map unit is referred to taxonomically as - Aquepts.

Pond

This map unit consists of an existing open water body that is either natural or manmade in origin. The limits of the pond generally follow the edge of the existing or normal water level.

WC

The **WC** designation refers to the existence of a watercourse on the subject property. The watercourse is a well defined channel or ditch area that conveys excess surface water runoff from its drainage area as well as groundwater seepage areas and or inland wetland soil areas.

NON-WETLAND SOILS

The non-wetland soils were not studied or mapped in detail. Some observations were made of these soils during the process of identifying the inland wetland areas. Random soil boring locations were flagged with pink & black stripped plastic ribbon. The following map unit descriptions do not constitute a detailed soil investigation of these upland areas, but may be used as a guide in site planning.

Hk (38)

The **Hk** map unit consists primarily of Hinckley soils on 3 to 15 percent slopes. Hinckley soils are very deep and excessively drained. These soils formed in glacial outwash materials. Typically Hinckley soils have gravelly sandy loam surface and subsoil layers overlying stratified sand and gravel to a depth of 60 inches or more.

Ud (306)

The **Ud** map unit consists of moderately well to well drained disturbed soils. It is composed of filled areas and areas consisting of both cut and fill. Soils in this map unit have been extensively disturbed by grading and filling activities associated with the existing developed\altered portions of this site.

Classification into natural soil units is impossible. This map unit is referred to taxonomically as Udorthents. Original diagnostic soil horizons are not present. Soils in this map unit have a wide range of characteristics. Textures are predominantly gravelly fine sandy loams. Permeability can be variable due to the lack of soil profile structure caused by the grading activities.

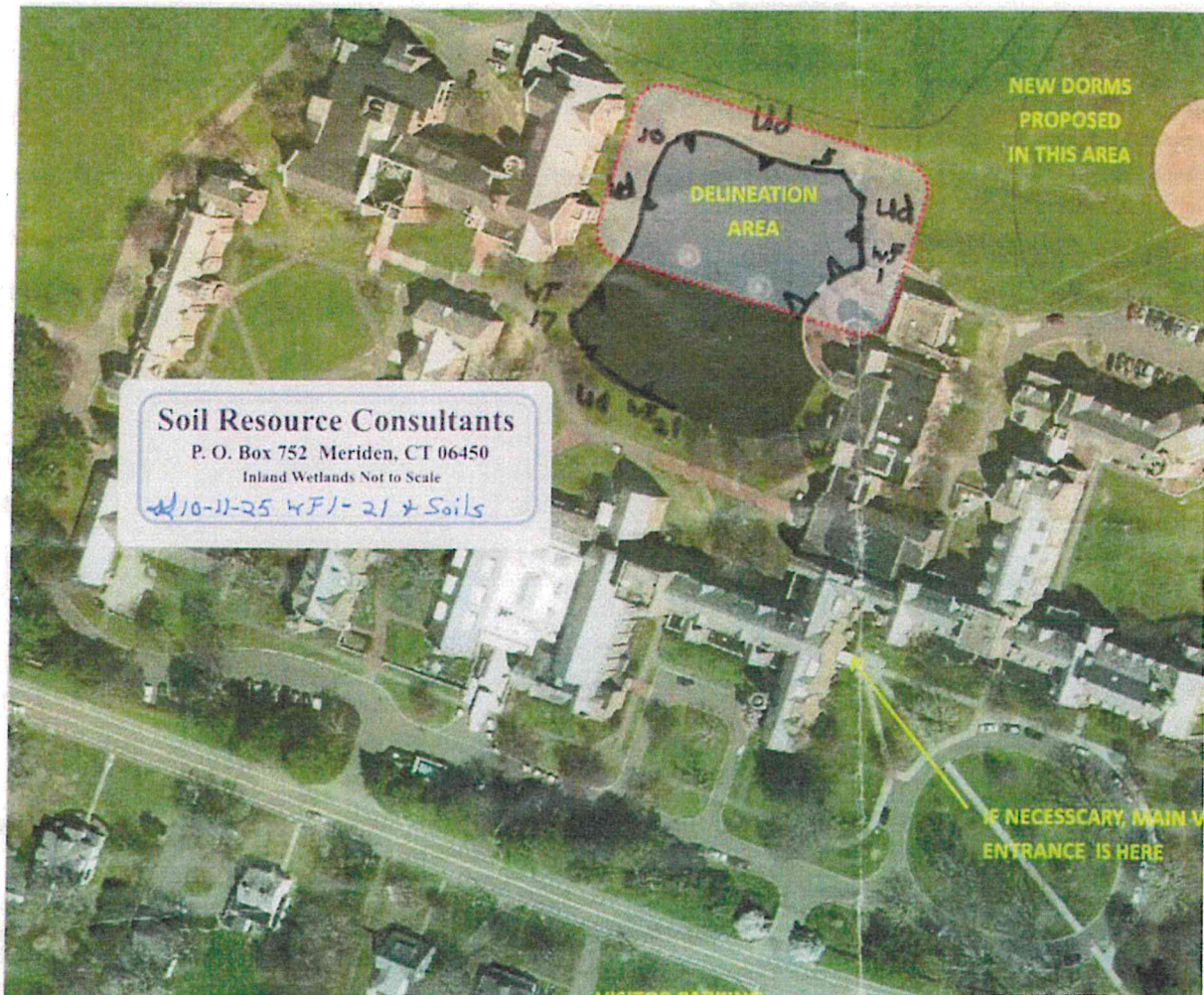
If you have any questions regarding this report, or need additional assistance with this site, please contact me. Environmental planning and wetland impact evaluation services are also available upon request. I am available to attend Inland Wetland Commission meetings and site walks.

Sincerely,

A handwritten signature in black ink that reads "David H. Lord". The signature is written in a cursive style with a large, prominent initial "D".

David H. Lord
Certified Soil Scientist
& Environmental Consultant

**Dormitory Project
Taft School
Watertown, CT**



**Dormitory Project
Taft School
Watertown, CT**



Exhibit D – Description of Erosion Controls

Taft School Student Dormitories IWA Application

01-21-26

During construction, the following erosion control measures shall be implemented:

1. **Stone Construction entrance:** The stone construction entrance shall be installed at the access point to the project area on the north side of the campus near the existing power plan building. The construction entrance is a stone pad intended to cause sediment to be removed from vehicle tires and prevent it from being tracked onto adjoining surfaces.
2. **Silt fence:** The silt fence shall be installed downgradient from any earth disturbing activities to filter surface stormwater flow.
3. **Temporary sediment trap:** The temporary sediment trap is an excavated area used for the temporary ponding of silt laden runoff to allow the sediment to settle out. The temporary sediment trap is located on the north side of the project area.
4. **Water bar:** A water bar is a temporary earthen channel to divert water away from the project area and/or move silt laden flow to a temporary sediment trap. A proposed water bar is shown on the east and west side of the project area.
5. **Inlet Protection:** The plan shows the installation of silt sacks or approved equal to be installed in or around the catch basin grates (existing & proposed).
6. **Concrete washout:** The plans provide information for the contractor to provide an area for concrete washout.

The proposed erosion control measures to be installed are shown on the construction detail plans and the location are shown on the Erosion Control Plans.



STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only the completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Use a separate form to report EACH action taken by the Agency. Complete this electronic fill-in form as described below. If completing by hand please print and use the PDF version. Do NOT submit a reporting form for withdrawn actions.

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
 - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B = Any Permit Denied by the Inland Wetlands Agency
 - C = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
 - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the CT Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn [CLEAR's website](#): (no roads depicted) or at [CTECO](#) (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N."

- | | |
|--|--|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of concept, subdivision or similar plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the action/project/activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|--|---|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction (including related culverts) |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body." For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream." Remember, these figures represent only the acreage altered, not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses. For created - question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions.
If completing by hand - please print and use the [pdf version](#).
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: [Click Here for Year](#) month: [Click Here for Month](#)
- CHOOSE ACTION TAKEN (see instructions for code): [Click Here to Choose a Code](#)
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (type name): Watertown
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): [USGS quad map name](#): Waterbury or [quad number](#): 64
[subregional drainage basin number](#): -691200
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Taft School
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (type information): 110 Woodbury Road
briefly describe the action/project/activity (check and type information): temporary permanent description: Site grading, utilities & drainage for residential dorm project
- ACTIVITY PURPOSE CODE (see instructions for code): D
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 12, Click for Code, Click for Code
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, type acres or linear feet as indicated):
wetlands: 0.00 acres open water body: 0.00 acres stream: 0.00 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.75 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

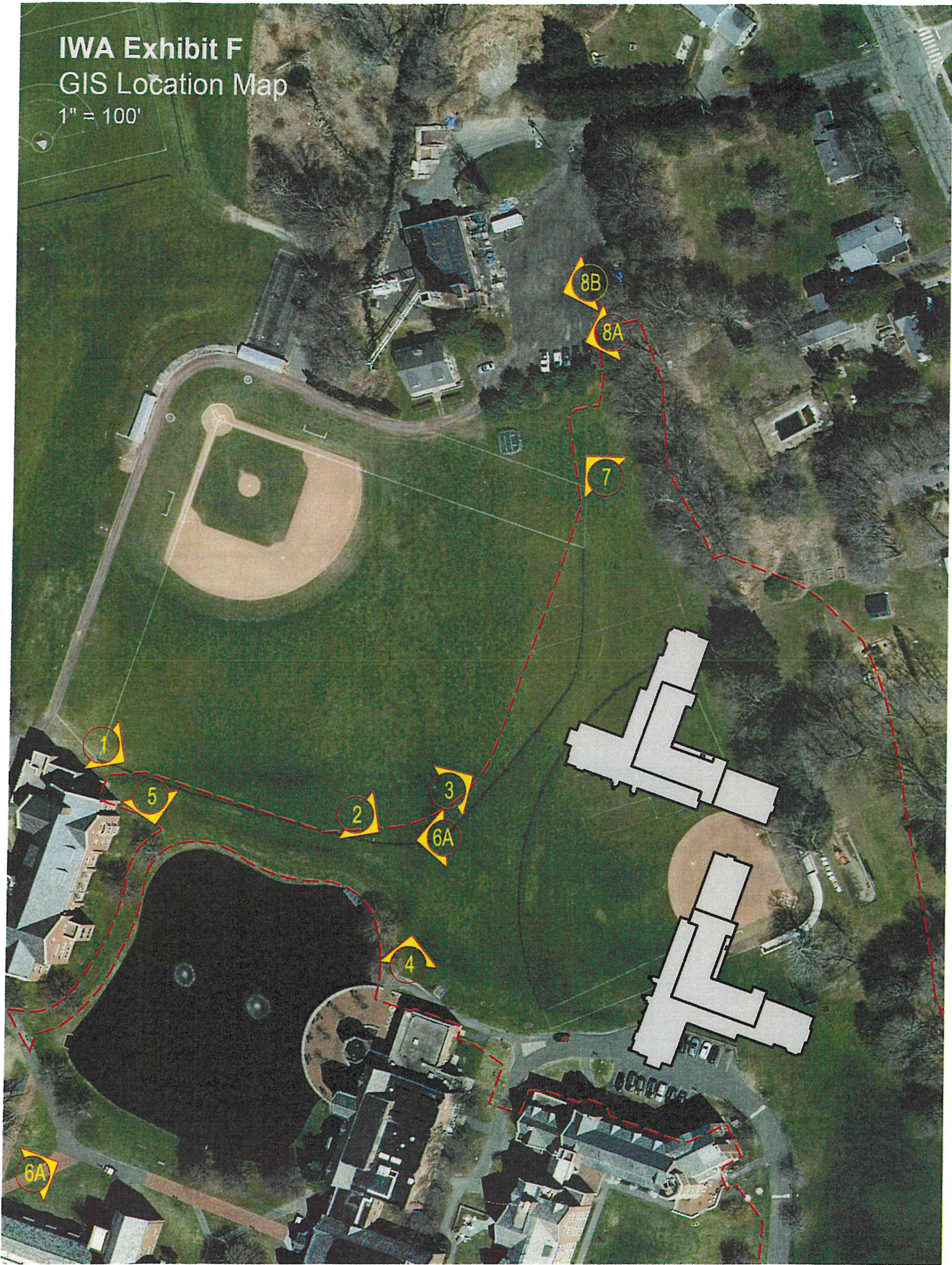
DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

IWA Exhibit F
GIS Location Map

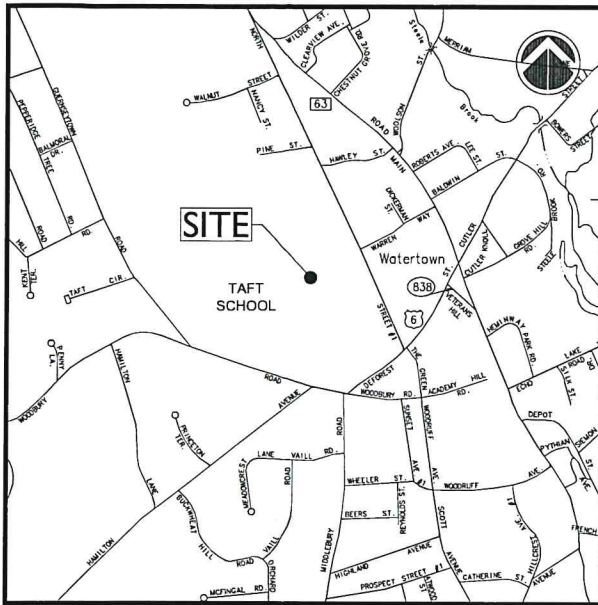
1" = 100'



STUDENT DORMITORY PROJECT THE TAFT SCHOOL

110 Woodbury Road
WATERTOWN, CONNECTICUT

CONSERVATION COMMISSION / INLAND WETLAND AGENCY APPLICATION



VICINITY MAP

SCALE: 1"=1,000'

OWNER / APPLICANT:

TAFT SCHOOL
110 WOODBURY ROAD
WATERTOWN, CT 06795-2100
PHONE: 860.945.7760

ARCHITECTURE:

VOITH & MACTAVISH ARCHITECTS LLP
2401 WALNUT STREET, 6TH FLOOR
PHILADELPHIA, PA 19103
PHONE: 215.545.4544

STRUCTURAL ENGINEER:

KEAST & HOOD
1635 MARKET STREET #1705
PHILADELPHIA, PA 19103
PHONE: 215.625.0099

MEP ENGINEER:

KOHLER RONAN CONSULTING ENGINEERS
93 LAKE AVENUE
DANBURY, CT 06810
PHONE: 203.778.1017

LANDSCAPE DESIGN:

TL STUDIO
110 KING PHILIP ROAD UNIT 2A
RUMFORD, RI 02916
PHONE: 401.383.3574

AV/IT/SECURITY

NVS
1315 WALNUT STREET #900
PHILADELPHIA, PA 19107
PHONE: 215.751.1133

LIGHTING DESIGN

O'DONOHUE LIGHTING
1816 S. 2ND STREET
PHILADELPHIA, PA 19148
PHONE: 215.518.4788

CIVIL ENGINEER:



- Civil Engineering
- Land Surveying
- Landscape Architecture
- Land Planning
- Laser Scanning & BIM
- Subsurface Utility Engineering

Land Resource Consultants
Engineering & Surveying, LLC

160 West Street, Suite 11
Cromwell, CT 06416
(860) 635-2877

85 Civic Center Plaza, Suite 204
Poughkeepsie, NY 12601
(845) 243-2880

www.lrcconsult.com



LOCATION MAP

SCALE: 1"=200'

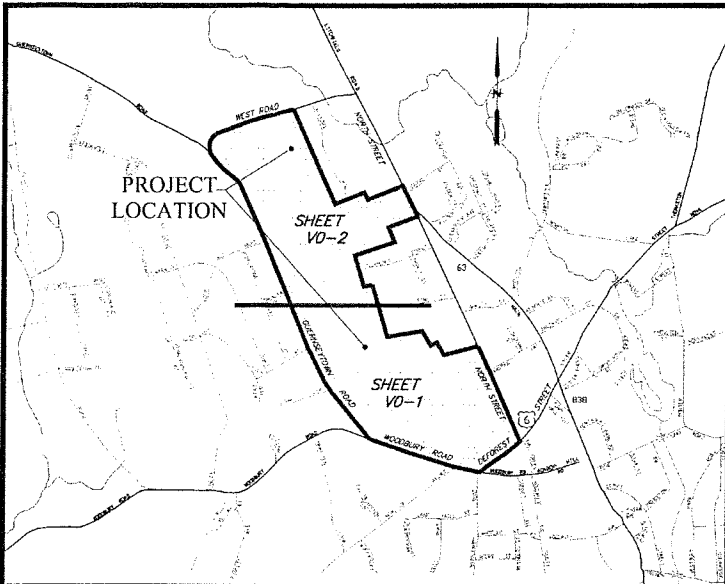
INDEX OF DRAWINGS

| | |
|----------------|---|
| | COVER SHEET |
| V01 & V02 | BOUNDARY SURVEY |
| EX-1 THRU EX-9 | TOPOGRAPHIC SURVEY |
| L1.0 | OVERALL LANDSCAPE PLAN |
| L1.1 | DORM 1 & 2 LAYOUT & MATERIAL PLAN |
| L1.2 | MAIN CIRCLE LAYOUT & MATERIALS PLAN |
| L2.0 | DORM 1 & 2 GRADING PLAN |
| L2.1 | MAIN CIRCLE GRADING PLAN |
| L3.0 | DORM 1 & 2 PLANTING PLAN |
| L3.1 | MAIN CIRCLE PLANTING PLAN |
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| A1.5 | ATTIC FLOOR PLAN |
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| A3.2 | ELEVATIONS |
| A3.3 | ELEVATIONS |
| A3.4 | ELEVATIONS |
| C1.1 | DORM 1 & 2 DEMOLITION PLAN |
| C1.2 | DORM 1 & 2 DEMOLITION PLAN |
| C1.3 | DORM 1 & 2 DEMOLITION PLAN |
| C2.1 | DORM 1 & 2 DRAINAGE PLAN |
| C2.2 | DORM 1 & 2 DRAINAGE PLAN |
| C2.3 | DORM 1 & 2 DRAINAGE PLAN |
| C3.1 | DORM 1 & 2 SITE UTILITIES PLAN |
| C3.2 | DORM 1 & 2 SITE UTILITIES PLAN |
| C3.3 | DORM 1 & 2 SITE UTILITIES PLAN |
| C4.1 | DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN |
| C4.2 | DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN |
| C4.3 | DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN |
| C5.1 | DORM 1 & 2 CONSTRUCTION DETAILS |
| C5.2 | DORM 1 & 2 CONSTRUCTION DETAILS |
| C5.3 | DORM 1 & 2 CONSTRUCTION DETAILS |
| C5.4 | DORM 1 & 2 CONSTRUCTION DETAILS |
| LI-1.0 | SITE LIGHTING PLAN |
| LI-1.1 | NORTH SITE LIGHTING PLAN PHOTOMETRY |
| LI-1.2 | SOUTH SITE LIGHTING PLAN PHOTOMETRY |
| LI-2.0 | LIGHTING FIXTURE DETAILS |

ZONING SUMMARY TABLE

| ZONING INFORMATION | | | |
|-------------------------------------|--|--------------|--------------|
| PARCEL SIZE | 165.76 ACRES (Referenced from the Town GS) | | |
| ASSESSOR'S LOCATION | MAP 99 BLOCK 58 LOT 7 | | |
| ZONING DISTRICT | R-20 DISTRICT | | |
| PROPOSED USE | STUDENT DORMITORY PROJECT | | |
| ITEM | REQUIRED | EXISTING | PROPOSED |
| MINIMUM LOT AREA | 20,000 SF | 7,220,506 SF | 7,220,506 SF |
| MINIMUM FRONTAGE | 75 FT | 3,309 FT | 3,309 FT |
| BUILDING SETBACKS | | | |
| FRONT YARD | 25 FT | 36.4 FT | 408.9 FT |
| SIDE YARD | 20 FT | 20 FT | 186.1 FT |
| REAR YARD | 50 FT | 50 FT | 872.9 FT |
| MAXIMUM BUILDING HEIGHT (FEET) | 35 FT | **54 FT | **54 FT |
| MAXIMUM BUILDING HEIGHT (STORIES) | 3 | * | ** |
| MAXIMUM BUILDING COVERAGE | 15% | 4.3% | 4.6% |
| MAXIMUM IMPERVIOUS SURFACE COVERAGE | 25% | 8.6% | 9.5% |

* Received a variance for building height for the John L. Vogelstein Dormitory building
** A text amendment to the zoning regulations is proposed.



KEY MAP AND INDEX PLAN - N.T.S.

MAP REFERENCES:

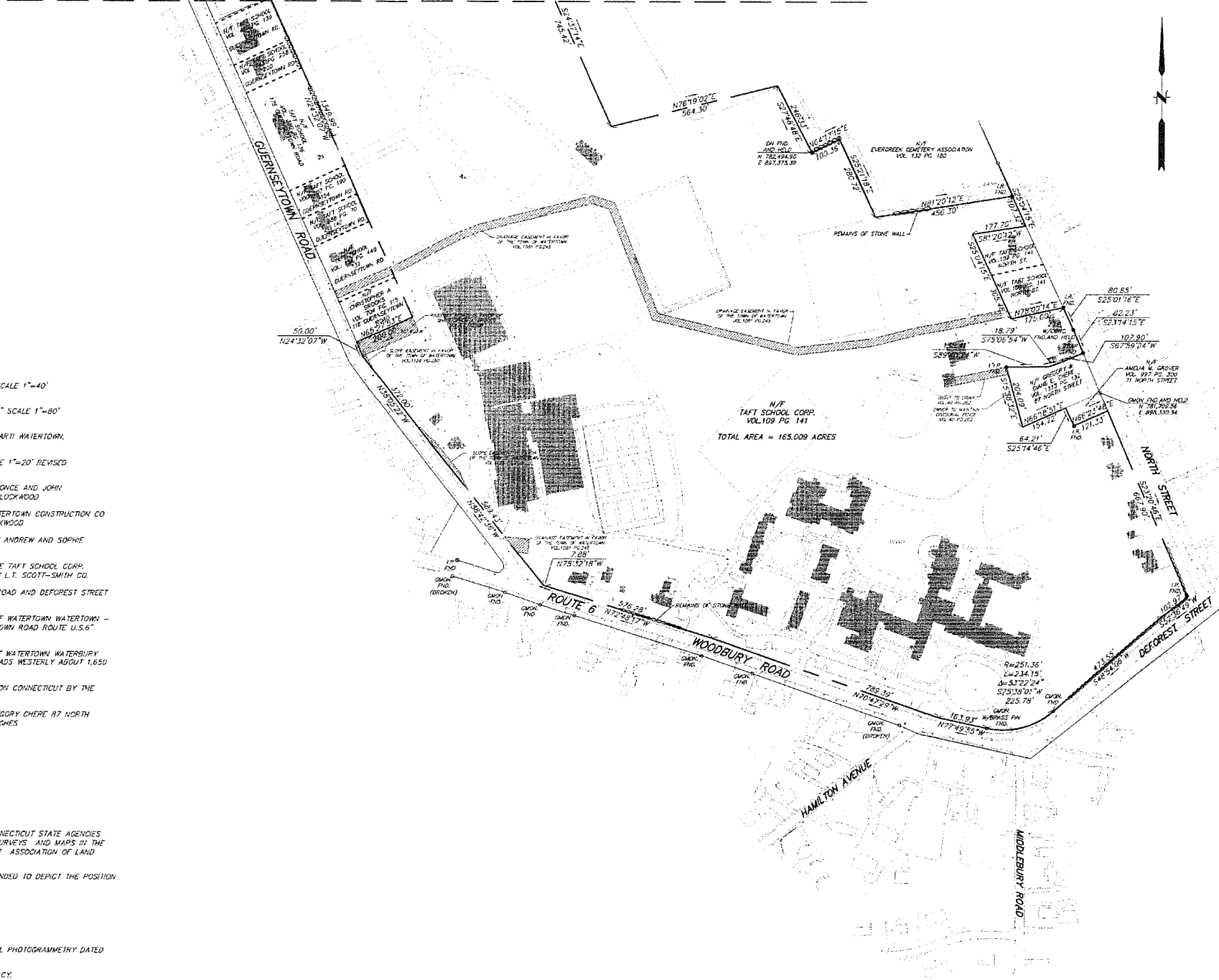
1. "PROPERTY OF HOWARD M. HICKOKY WATERTOWN CONN. SECTION NO. 1" SCALE 1"=40' DATE MARCH 28, 1925 BY BRONSON E. LOCKWOOD
2. "MAP OF LAND BELONGING TO MRS. ELLEN H. SCOVILL WATERTOWN, CONN" SCALE 1"=80' DATE MARCH 1929 BY WILLIAM B. REYNOLDS
3. "MAP OF SECTION ONE CLOVERDALE BELONGING TO EDWARD & BERTHA MARIH WATERTOWN, CT. SCALE 1"=10' DATE APRIL 1949 BY ARTHUR N. WOOD
4. "PROPERTY OF ORIS AND DORIS W. SALVATORE WATERTOWN, CONN." SCALE 1"=20' REVISED MARCH 1951 BY WILLIAM B. REYNOLDS
5. "PLAN OF WALNUT ACRES SECTION NO. 1 OWNED AND DEVELOPED BY ALFONCE AND JOHN KONTOUT WATERTOWN, CONN." SCALE 1"=30' DATE NOVEMBER 1951 BY B.E. LOCKWOOD
6. "SECTION NO. 2 PLAN OF WALNUT ACRES OWNED AND DEVELOPED BY WATERTOWN CONSTRUCTION CO INC. WATERTOWN, CONN." SCALE 1"=50' DATE SEPTEMBER 1952 BY B.E. LOCKWOOD
7. "MAP REVISING A PORTION OF SECTION ONE-CLOVERDALE BEING LAND OF ANDREW AND SOPHIE KUSAILA" SCALE 1"=50' DATE NOVEMBER 1952 BY HARRY G. OWENS, JR.
8. "SUBDIVISION PLAN LAND OF THE TAFT SCHOOL CORPORATION OWNER: THE TAFT SCHOOL CORP. 110 WOODBURY ROAD WATERTOWN, CONN." SCALE 1"=40' DATE JUNE 1976 BY L.T. SCOTT-SMITH CO.
9. "PORTION OF PROPERTY OF THE TAFT SCHOOL CORPORATION WOODBURY ROAD AND DEFOREST STREET WATERTOWN, CT." SCALE 1"=100' DATE 5/9/80 BY H.W. MAHT
10. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN - WOODBURY ROAD FROM THE WOODBURY TOWN LINE EASTERLY TO GUERNSEYTOWN ROAD ROUTE U.S.6" SCALE 1"=40' DATE SEPTEMBER 28, 1934
11. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN WOODBURY ROAD FROM THE INTERSECTION OF THOMASTON & WATERBURY ROADS WESTERLY ABOUT 1,650 FEET ROUTE U.S.6" SCALE 1"=40' DATE FEB. 14, 1934
12. "TOWN OF WATERTOWN MAP SHOWING LAND RELEASED TO BANK OF BOSTON CONNECTICUT BY THE STATE OF CONNECTICUT U.S. ROUTE 6" SCALE 1"=40' DATE JANUARY 1988
13. "ZONING LOCATION SURVEY - PROPOSED PREPARED FOR DIANE E. & GREGORY CHERE 87 NORTH STREET WATERTOWN, CT." NOVEMBER 6, 2004 SCALE 1"=20' BY DAVID A. HUGHES

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS BY THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
2. THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY, AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO ALL MONUMENTATION.
3. BOUNDARY DETERMINATION IS BASED ON A DEPENDENT RESURVEY.
4. THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2
5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWALL COMPANY AERIAL PHOTOGRAMMETRY DATED 6/12/2008
7. ABUTTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY.
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

SEE SHEET VO-2

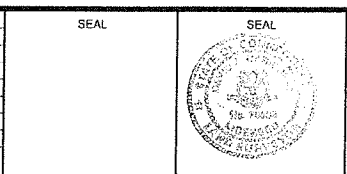
SEE SHEET VO-2



SEE SHEET VO-2 FOR LEGEND

| No. | DATE | DESCRIPTION | BY |
|-----------|------|-------------|----|
| 1. | | | |
| REVISIONS | | | |

| | |
|-----------------|------|
| PROJ. MANAGER: | SEAL |
| CHIEF DESIGNER: | SEAL |
| REVIEWED BY: | DATE |



TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

David A. Caricchio
 DAVID A. CARICCHIO 70036
 LICENSE No.

| | |
|----------------------------------|------------------|
| SCALE: | HORIZ: 1" = 100' |
| | VERT: |
| DATUM: | HORIZ: NAD 83 |
| | VERT: |
| 100 50 0 50 100 GRAPHIC SCALE | |

WWW.FAND0.COM

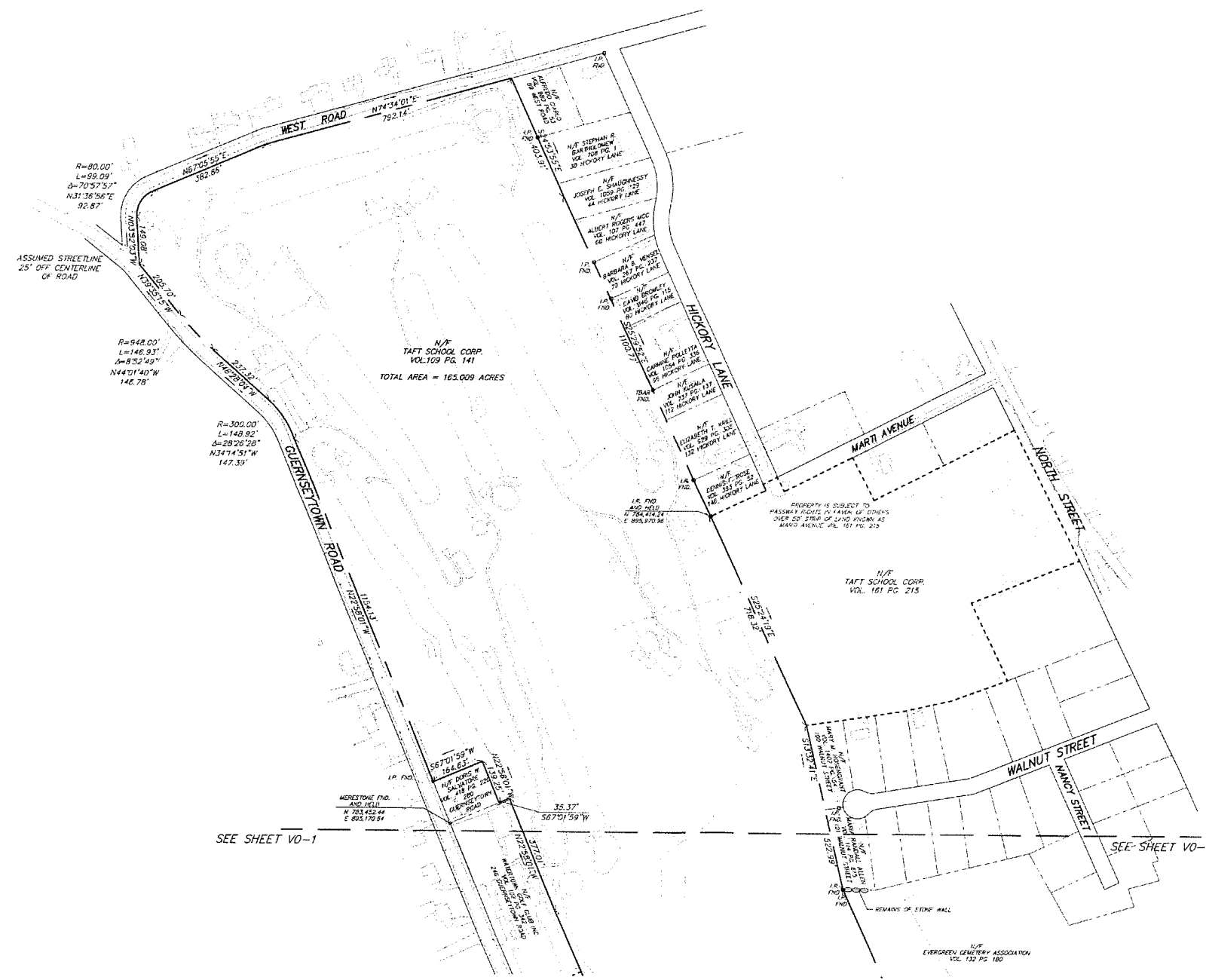
FUSS & O'NEILL
 Disciplines to Deliver

146 HARTFORD RD MANCHESTER, CT 06040 860.646.2469

BOUNDARY SURVEY
 OF A PORTION OF THE
 TAFT SCHOOL MAIN CAMPUS

110 WOODBURY ROAD WATERTOWN, CONNECTICUT

| |
|---------------------|
| PROJ. No: 95023.V20 |
| DATE: 7/31/08 |
| V0-1 |



LEGEND

- UTILITY POLE
- SIGN
- GAS GATE
- LIGHT
- EXISTING IRON PIPE
- EXISTING MONUMENT
- TAFT SCHOOL PROPERTY INCLUDED IN THIS SURVEY
- - - TAFT SCHOOL PROPERTY NOT INCLUDED IN THIS SURVEY
- ABUTTING PROPERTY OWNERS
- STREET LINE
- EASEMENT LINE
- EDGE OF WATER
- TREELINE
- STONE WALL
- CHAIN LINK FENCE
- STOCKADE FENCE
- EASEMENT ON TAFT SCHOOL PROPERTY
- EXISTING BUILDING ON TAFT SCHOOL PROPERTY

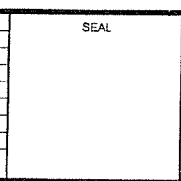
SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1995.
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3. BOUNDARY DETERMINATION IS BASED ON A DEPENDENT RESURVEY.
4. THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWALL COMPANY AERIAL PHOTOGRAMMETRY DATED 6/12/2008.
7. ABUTTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY.
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

SEE SHEET VO-1 FOR MAP REFERENCES

| No. | DATE | DESCRIPTION | BY |
|-----------|------|-------------|----|
| REVISIONS | | | |

| | |
|-----------------|------|
| PROJ. MANAGER: | |
| CHIEF DESIGNER: | |
| REVIEWED BY: | DATE |



TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

David A. Caricchio

DAVID A. CARICCHIO 70036 LICENSE No.

SCALE:
 HORZ: 1" = 100'
 VERT: ---
 DATUM:
 HORZ: NAD 83
 VERT: ---
 GRAPHIC SCALE

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FUSS & O'NEILL
 Disciplines to Deliver

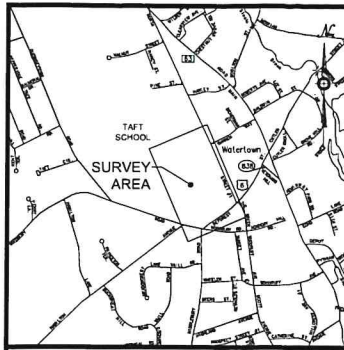
146 HARTFORD RD MANCHESTER, CT 06040 860.646.2469

BOUNDARY SURVEY
 OF A PORTION OF THE
 TAFT SCHOOL MAIN CAMPUS

110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: 95023.V20
 DATE: 7/31/08

V0-2

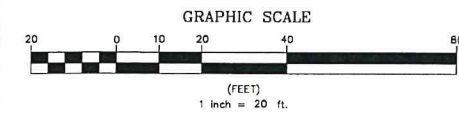
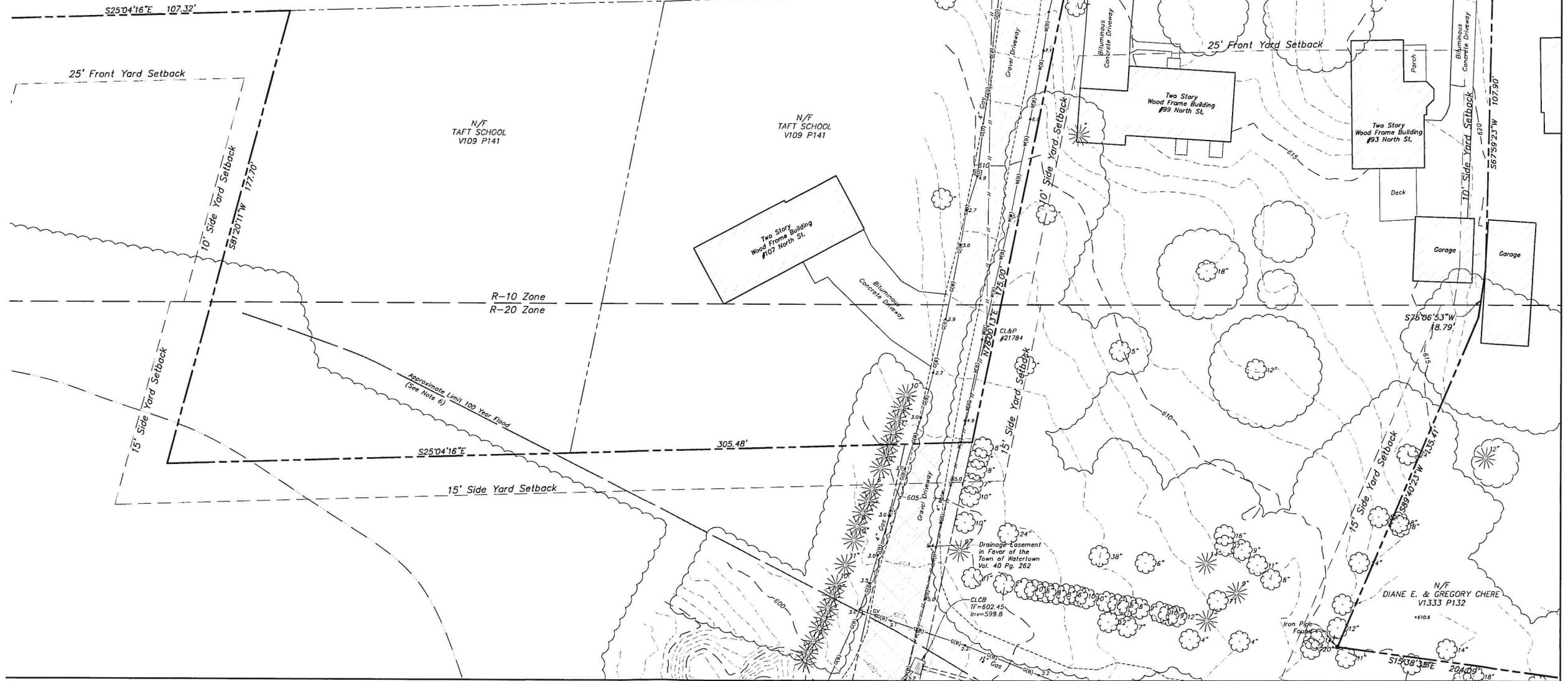


Key Map
Scale 1"=500'

Vicinity Map
Scale 1"=1,500'

Map Notes

- This map and survey have been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-1 through 20-300b-2a, "Minimum Standards of Accuracy, Content and Certification for Surveys and Maps", effective June 21, 1996, amended October 28, 2018.
The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Topographic Survey and is intended to note or depict the existing site conditions within the project area with respect to existing physical features such as structures, parking areas, sidewalks, fences, walls, ball fields, trees, spot elevations and contours.
The contour interval is one (1) foot.
There is no boundary determination/opinion.
Property lines depicted hereon are approximate and do not represent a property/boundary opinion. The approximate property line information was compiled from the map referenced in note 4A. It is not to be construed as having been obtained as the result of a field survey, and is subject to change based on such facts as an accurate field survey may disclose.
This survey conforms to Horizontal Accuracy Class D & A-2.
This survey conforms to Topographic Survey Accuracy Class T-2.
This survey conforms to Vertical Accuracy Class V-2.
Aerial survey was flown on October 27, 2025.
Field survey was completed on December 12, 2025.
- North arrow and bearings are referenced to the North American Datum (NAD) of 1983 projected onto the Connecticut State Plane Coordinate System based on the averaged values of multiple GPS observations made on GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Elevations and contours are referenced to North American Vertical Datum (NAVD) of 1983 based on the averaged values of multiple GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Reference is made to the following maps:
A. "Boundary Survey of a Portion of the Taft School Main Campus, 110 Woodbury Road, Watertown, Connecticut", scale 1"=100', dated July 31, 2008, revised September 30, 2008, prepared by Fuss & O'Neil.
- Parcel is identified as Tax Block 58, Lot 7 on the Town of Watertown Assessor's Map 99.
- Portion of the property is located in Zone "B" (areas between 100-year and 500-year flood or area subject to 100-year flood with depths average less than 1 foot) and Zone "C" (areas of minimal flooding) as depicted on Flood Insurance Rate Map (FIRM) Panels 5 & 6 of 11, Litchfield County, Connecticut, Town of Watertown, community number 090058, with an effective date of November 5, 1980.
- The subsurface utilities depicted hereon conform to the following Utility Quality Levels, as defined by the American Society of Civil Engineers (ASCE) in Document CI/ASCE 38-02 titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data".
The contractor is required to utilize the local utility one call system prior to excavation for the purpose of verifying the subsurface utilities in the area.
See Utility Quality Levels legend on Sheet EX-2.



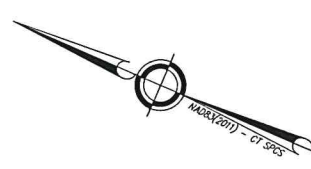
Certification
To my knowledge and belief this map is substantially correct as noted hereon.

John F. Wagenblatt
JOHN F. WAGENBLATT
L.S. No. 17,791



| Legend | |
|--------|--|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treeline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
| | Sanitary Sewer |
| | Water Main |
| | Gas Main |
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |
| | Catch Basin |
| | Curbside Catch Basin |
| | Shrub |
| | Monument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Wetland Flag |
| | Sign |
| | Ballard |
| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Lost) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
| | Drainage Manhole |
| | Sanitary Manhole |
| | Electric Manhole |
| | Telephone Manhole |
| | Paved-Over Manhole |
| | Manhole, Utility Type Unknown |
| | Domestic Water Well |
| | Lamp Post |
| | Steam Manhole |
| | Double Light Pole |
| | Now or Formerly (in Title of) |
| | N/F |

MATCHLINE SEE SHEET 4 of 9



Deed References
Volume 109 Page 141

LRC
Land Resource Consultants
Engineering & Surveying, LLC

160 West Street, Suite E
Canaan, CT 06046
(860) 675-2877
41 Civic Center Plaza, Suite 204
Poughkeepsie, NY 12601
(845) 243-2890
www.lrcsurvey.com

TOPOGRAPHIC SURVEY

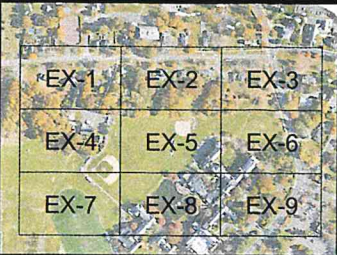
TAFT SCHOOL

110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

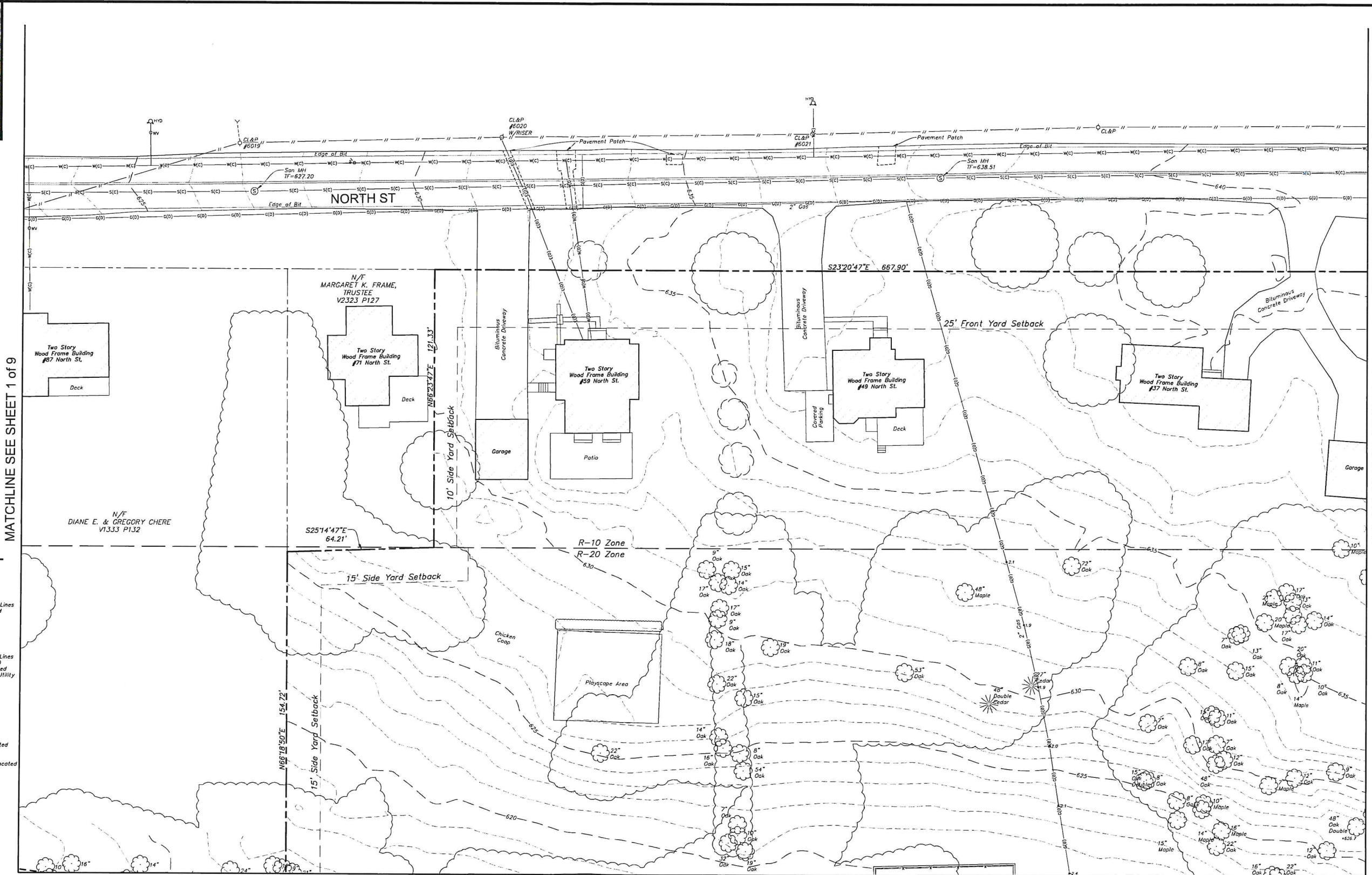
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Draw: RJ/RN Project No. 24-3258
Checked: JW Date: 12/12/2025
Approved: JW Scale: 1"=20'

EX-1

MATCHLINE SEE SHEET 2 of 9



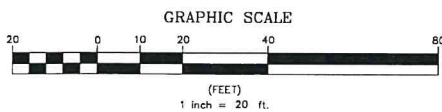
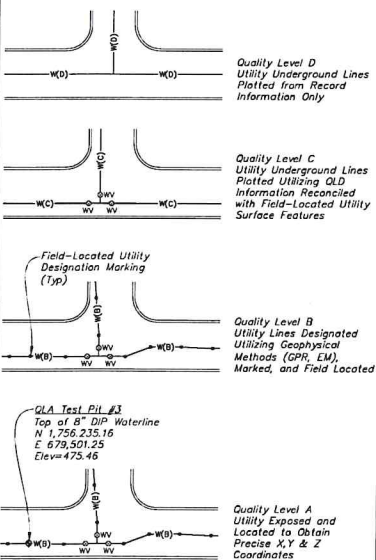
Key Map
Scale 1"=500'



MATCHLINE SEE SHEET 1 of 9

MATCHLINE SEE SHEET 3 of 9

UTILITY QUALITY LEVELS

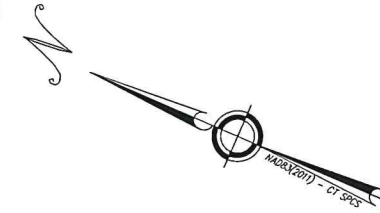


Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



| Legend | |
|--------|--|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treeline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
| | Sanitary Sewer |
| | Water Main |
| | Gas Main |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Catch Basin |
| | Curbless Catch Basin |
| | Shrub |
| | Monument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Wetland Flag |
| | Sign |
| | Bullard |
| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Lost) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
| | Drainage Manhole |
| | Sanitary Manhole |
| | Electric Manhole |
| | Telephone Manhole |
| | Paved-Over Manhole |
| | Manhole, Utility Type Unknown |
| | Domestic Water Well |
| | Lamp Post |
| | Steam Manhole |
| | Double Light Pole |
| | Now or Formerly (in Title of) |

MATCHLINE SEE SHEET 5 of 9



LRC
Engineering & Surveying

- Civil Engineering
- Land Surveying
- Landscape Architecture
- Land Planning
- Laser Scanning & BIM
- Subsurface Utility Engineering

Land Resource Consultants
Engineering & Surveying, LLC

140 West Street, Suite E
Cromwell, CT 06416
(860) 535-2477
44 Elm Grove Plaza, Suite 204
Hartford, CT 06103
(860) 243-2800
www.lrcsurvey.com

TOPOGRAPHIC SURVEY

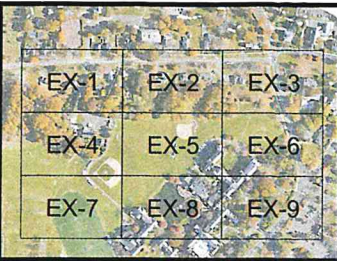
TAFT SCHOOL

110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

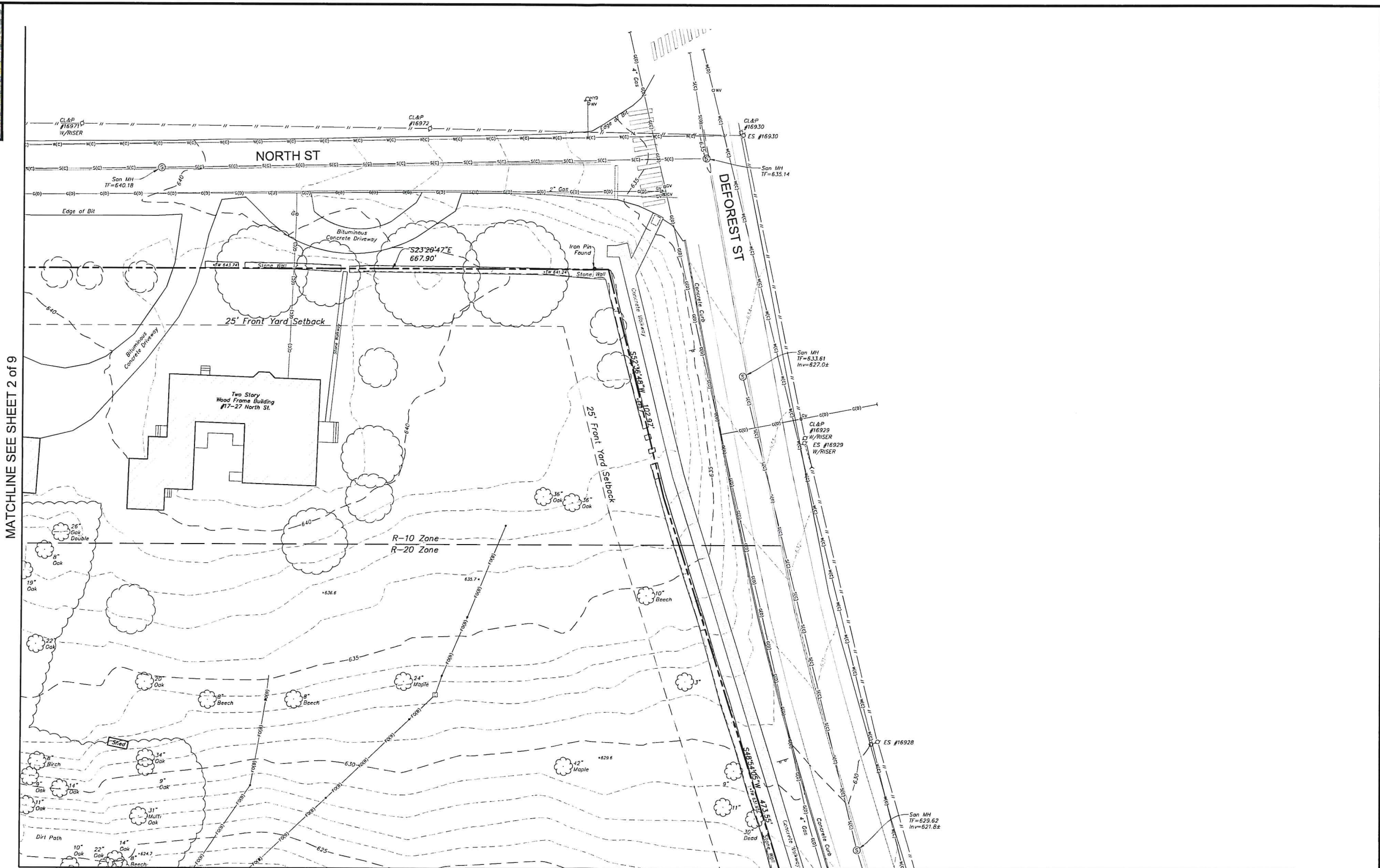
SEE SHEET EX-1 FOR MAP NOTES.

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Checked: JW Date: 12/12/2025
Approved: JW Scale: 1"=20'

EX-2



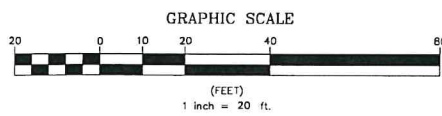
Key Map
Scale 1"=500'



MATCHLINE SEE SHEET 2 of 9

MATCHLINE SEE SHEET 6 of 9

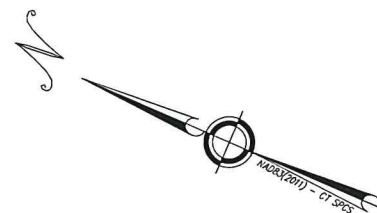
SEE SHEET EX-1 FOR MAP NOTES.



| | |
|--|------------------------------|
| | Property Line |
| | Easement Line |
| | Index Contour |
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| | Trellis |
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| | Guide Rail |
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| | Upland Review/Regulated Area |
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| | Water Main |
| | Gas Main |

| | |
|--|------------------|
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |

| | |
|--|--|
| | Catch Basin |
| | Curbside Catch Basin |
| | Shrub |
| | Monument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | WF-6 |
| | Sign |
| | Bollard |
| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Lost) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
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| | Double Light Pole |
| | Now or Formerly (in Title of) |



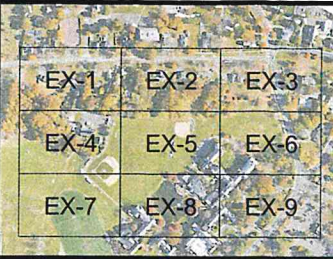
Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



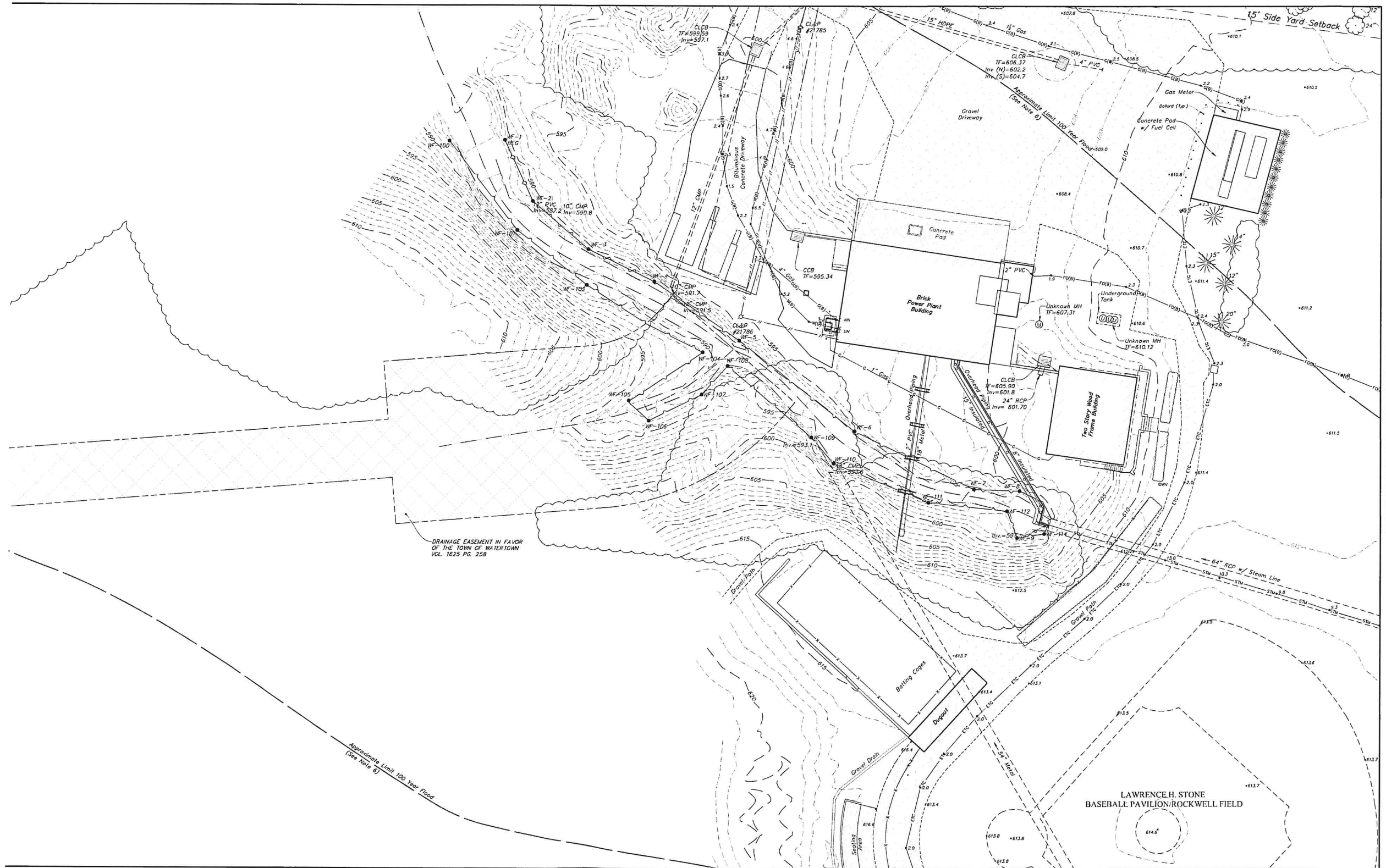
LRC
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(860) 615-2577
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| | | | |
|--|-------|-------------|----------------|
| TOPOGRAPHIC SURVEY | | | |
| SHEET 2 OF 9 | | | |
| TAFT SCHOOL | | | |
| 110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT | | | |
| Design/Client | JW | CAD File | EX24325801.dwg |
| Drawn | RW/RN | Project No. | 24-3258 |
| Checked | JW | Date | 12/12/2025 |
| Approved | JW | Scale | 1"=20' |
| | | | EX-3 |

MATCHLINE SEE SHEET 1 of 9



Key Map
Scale 1"=500'

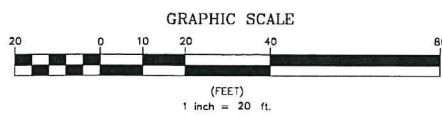


MATCHLINE SEE SHEET 5 of 9

DRAINAGE EASEMENT IN FAVOR OF THE TOWN OF WATERTOWN VOL. 1625 PG. 258

Approximate Limit 100 Year Flood (See Note 6)

LAWRENCE H. STONE
BASEBALL PAVILION/ROCKWELL FIELD



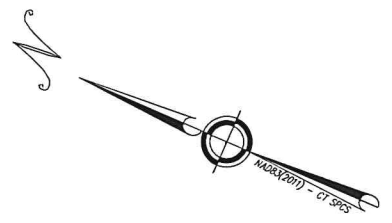
| | |
|--|------------------------------|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treeline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
| | Sanitary Sewer |
| | Water Main |
| | Gas Main |

Legend

| | |
|--|------------------|
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |

| | |
|--|--|
| | Catch Basin |
| | Curbless Catch Basin |
| | Shrub |
| | Monument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Wetland Flag |
| | Sign |
| | Ballard |
| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Lost) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
| | Drainage Manhole |
| | Sanitary Manhole |
| | Electric Manhole |
| | Telephone Manhole |
| | Paved-Over Manhole |
| | Manhole, Utility Type Unknown |
| | Domestic Water Well |
| | Lamp Post |
| | Steam Manhole |
| | Double Light Pole |
| | Now or Formerly (in Title of) |

MATCHLINE SEE SHEET 7 of 9



SEE SHEET EX-1 FOR MAP NOTES.

Certification
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John F. Wagenblatt
JOHN F. WAGENBLATT
L.S. No. 17,791

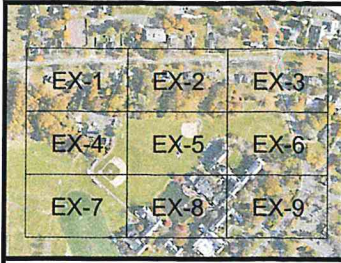


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| | | | |
|--|-------|-------------|----------------|
| TOPOGRAPHIC SURVEY | | | |
| SHEET 4 OF 9 | | | |
| TAFT SCHOOL | | | |
| 110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT | | | |
| Design/Coors | JW | CAD File | EX24325801.dwg |
| Drawn | RW/RN | Project No. | 24-3258 |
| Checked | JW | Date | 12/12/2025 |
| Approved | JW | Scale | 1"=20' |
| | | | EX-4 |

MATCHLINE SEE SHEET 2 of 9



Key Map
Scale 1"=500'

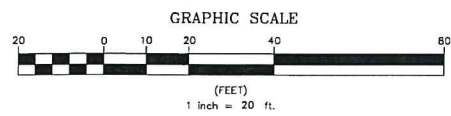
MATCHLINE SEE SHEET 4 of 9



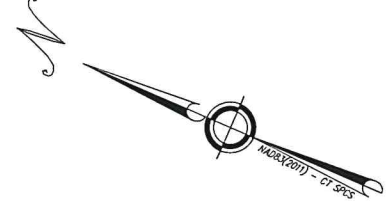
MATCHLINE SEE SHEET 6 of 9

MATCHLINE SEE SHEET 8 of 9

SEE SHEET EX-1 FOR MAP NOTES.



| Legend | |
|--------|--|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treeline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
| | Sanitary Sewer |
| | Water Main |
| | Gas Main |
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |
| | Catch Basin |
| | Curbside Catch Basin |
| | Shrub |
| | Manument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Wetland Flag |
| | Sign |
| | Ballard |
| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Lost) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
| | Drainage Manhole |
| | Sanitary Manhole |
| | Electric Manhole |
| | Telephone Manhole |
| | Paved-Over Manhole |
| | Manhole, Utility Type Unknown |
| | Domestic Water Well |
| | Lamp Post |
| | Steam Manhole |
| | Double Light Pole |
| | Now or Formerly (in Title of) |
| | N/F |



Certification
To my knowledge and belief this map is substantially correct as noted hereon.

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JOHN F. WAGENBLATT
L.S. No. 17,791



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Poughkeepsie, NY 12601
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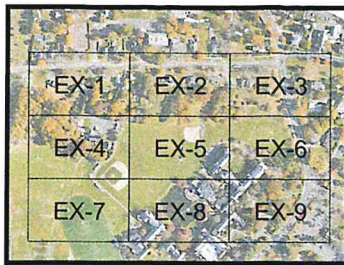
TOPOGRAPHIC SURVEY
SHEET 5 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

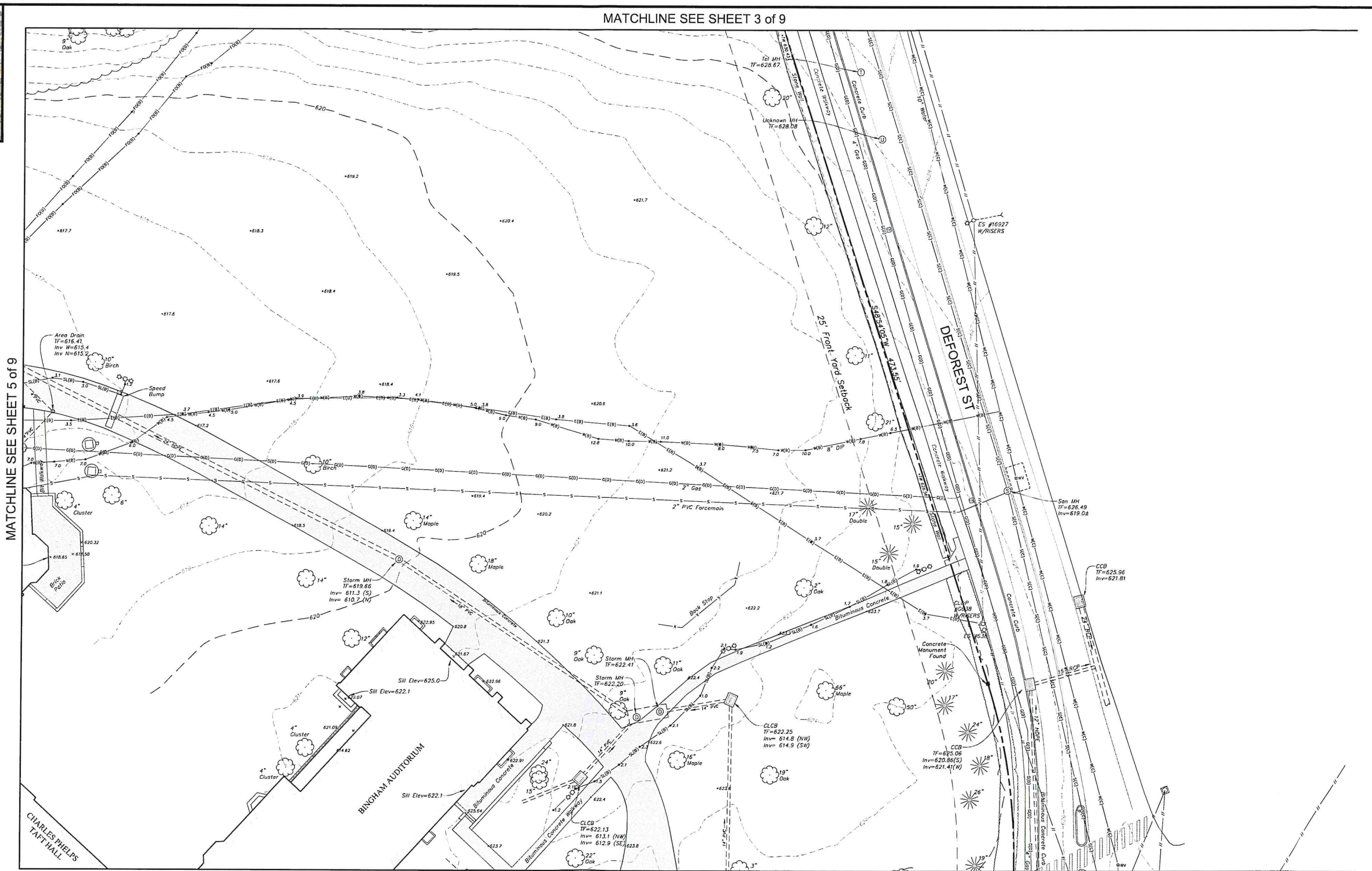
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| Design/Codes | JW | CAD File | EX24325801.dwg | Sheet No. |
| Drawn | RW/RN | Project No. | 24-3258 | |
| Checked | JW | Date | 12/12/2025 | |
| Approved | JW | Scale | 1"=20' | |

EX-5

MATCHLINE SEE SHEET 3 of 9



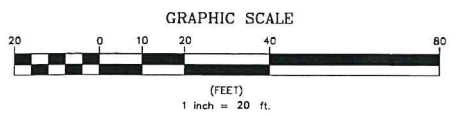
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Scale 1"=500'



MATCHLINE SEE SHEET 5 of 9

MATCHLINE SEE SHEET 9 of 9

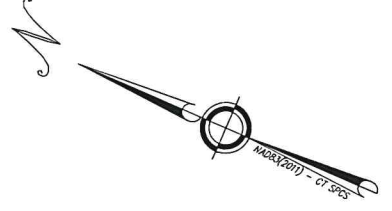
SEE SHEET EX-1 FOR MAP NOTES.



| Legend | |
|--------|--|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treeline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
| | Sanitary Sewer |
| | Water Main |
| | Gas Main |
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |
| | Catch Basin |
| | Curbside Catch Basin |
| | Shrub |
| | Manument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Well Flag |
| | Sign |
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| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Lost) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
| | Drainage Manhole |
| | Sanitary Manhole |
| | Electric Manhole |
| | Telephone Manhole |
| | Paved-Over Manhole |
| | Manhole, Utility Type Unknown |
| | Domestic Water Well |
| | Lamp Post |
| | Steam Manhole |
| | Double Light Pole |
| | Now or Formerly (in Title of) |

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• Landscape Architecture
• Land Planning
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Fogelsville, NY 12401
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TOPOGRAPHIC SURVEY

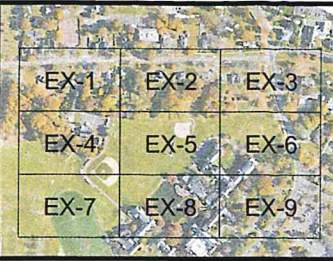
SHEET 6 of 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

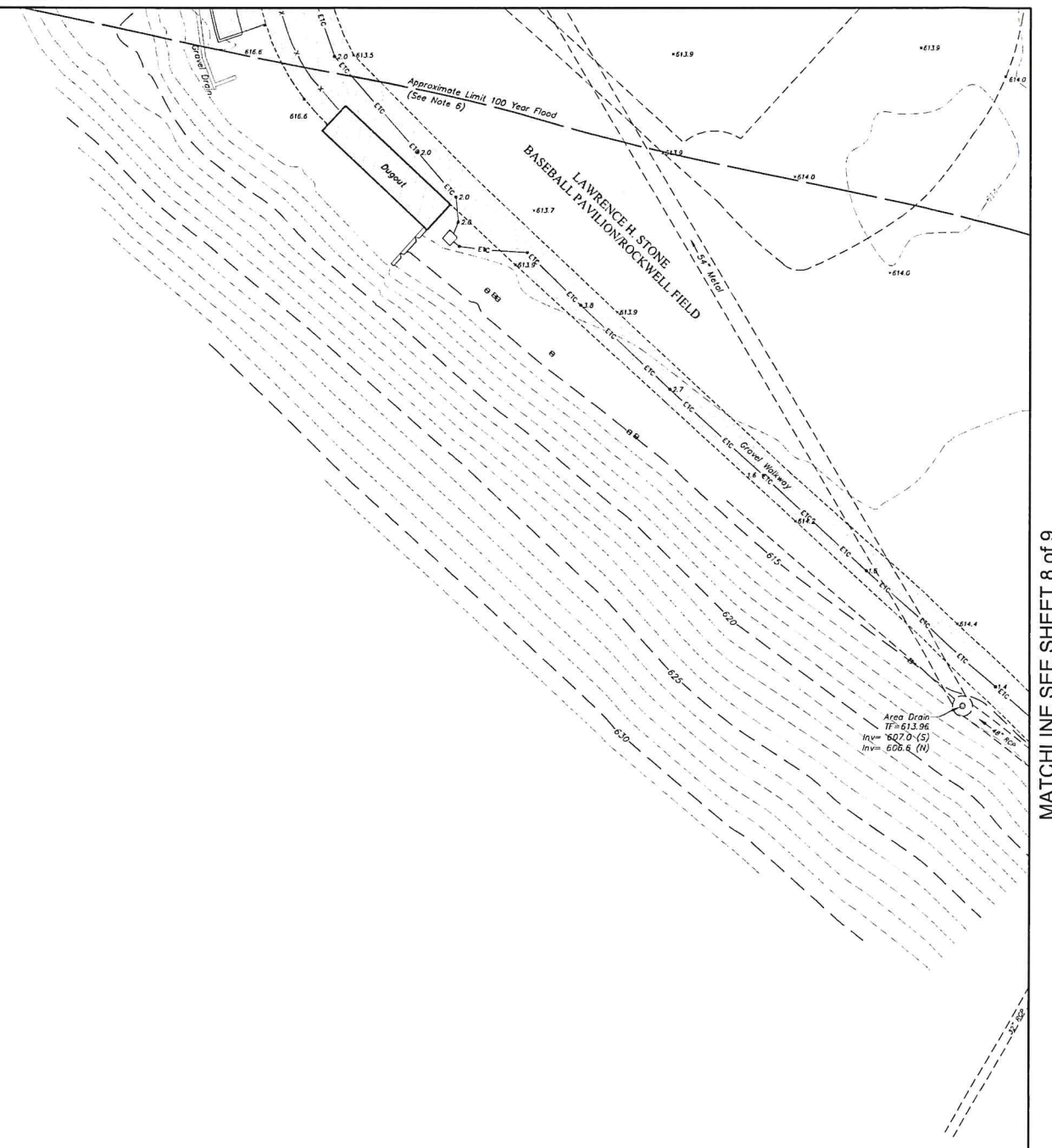
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| Design/Client | JW | CAD File | EX24325801.dwg | Sheet No. |
| Drawn | RJ/RN | Project No. | 24-3258 | |
| Checked | JW | Date | 12/12/2025 | |
| Approved | JW | Scale | 1"=20' | |

EX-6

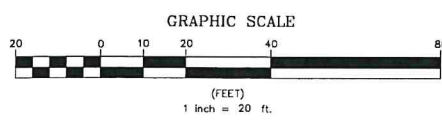
MATCHLINE SEE SHEET 4 of 9



Key Map
Scale 1"=500'



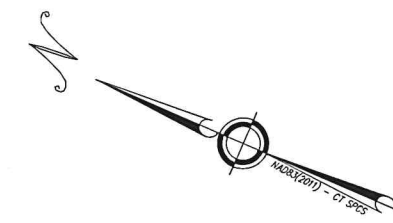
MATCHLINE SEE SHEET 8 of 9



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



| Legend | |
|--------|--|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treseline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
| | Sanitary Sewer |
| | Water Main |
| | Gas Main |
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| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |
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| | Curbless Catch Basin |
| | Shrub |
| | Monument |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Wetland Flag |
| | Sign |
| | Ballard |
| | Existing Spot Grade |
| | Guy Wire |
| | Mailbox |
| | Utility Pole |
| | Water Valve |
| | Hydrant |
| | Gas Valve |
| | Handicap Parking |
| | End of Geophysical Information (Signal Last) |
| | Electric Handhole |
| | Unidentified Handhole |
| | Irrigation Control Box |
| | Drainage Manhole |
| | Sanitary Manhole |
| | Electric Manhole |
| | Telephone Manhole |
| | Paved-Over Manhole |
| | Manhole, Utility Type Unknown |
| | Domestic Water Well |
| | Lamp Post |
| | Steam Manhole |
| | Double Light Pole |
| | Now or Formerly (in Title of) |

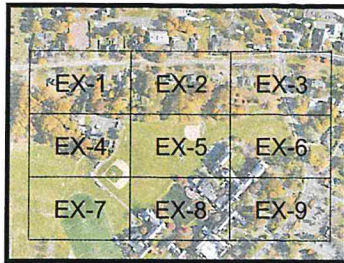


SEE SHEET EX-1 FOR MAP NOTES.

| | | | | | | |
|--|----|---------------------------|------------|-------------|----------------|-----------|
| | | TOPOGRAPHIC SURVEY | | | | |
| | | SHEET 7 OF 9 | | | | |
| TAFT SCHOOL 110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT | | Design/Calcs | JW | CAD File | EX24325801.dwg | Sheet No. |
| | | Drawn | RW/RN | Project No. | 24-3258 | |
| Checked | JW | Date | 12/12/2025 | | EX-7 | |
| Approved | JW | Scale | 1"=20' | | | |

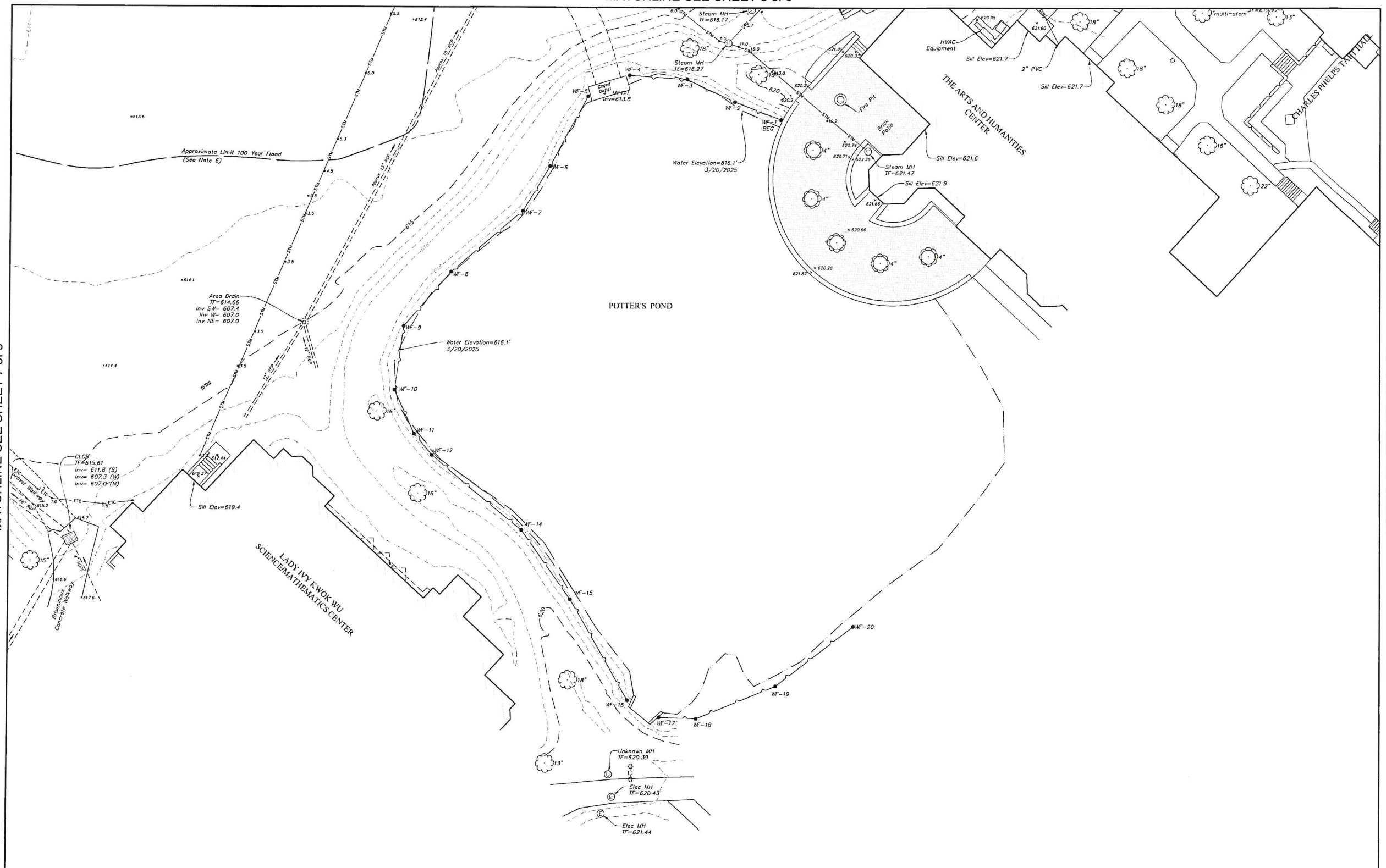
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MATCHLINE SEE SHEET 6 of 9

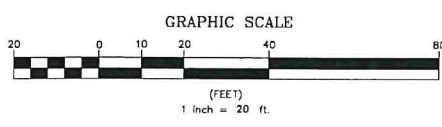


Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 7 of 9



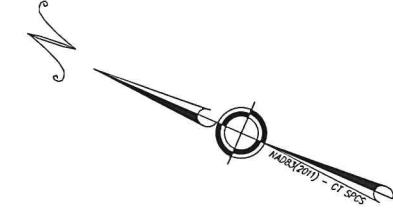
MATCHLINE SEE SHEET 9 of 9



| | |
|--|------------------------------|
| | Property Line |
| | Easement Line |
| | Index Contour |
| | Intermediate Contour |
| | Treeline |
| | Hedge/Shrub Line |
| | Stone Wall |
| | Retaining Wall |
| | Fence |
| | Guide Rail |
| | Stream/Edge of Water |
| | Limit of Wetlands |
| | Upland Review/Regulated Area |
| | Storm Sewer |
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| | Water Main |
| | Gas Main |

| | |
|--|------------------|
| | Electric Line |
| | Telephone Line |
| | Fiber Optic Line |
| | Steam Line |
| | Site Light Line |
| | Overhead Wire |
| | Concrete Surface |
| | Gravel Surface |
| | Deciduous Tree |
| | Coniferous Tree |

| | |
|--|--|
| | Catch Basin |
| | Curbless Catch Basin |
| | Shrub |
| | Manumnt |
| | Iron Pin, Pipe, Rebar, Drill Hole |
| | Wetland Flag |
| | Sign |
| | Ballard |
| | Existing Spot Grade |
| | Guy Wire |
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| | Water Valve |
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| | Drainage Manhole |
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| | Electric Manhole |
| | Telephone Manhole |
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| | Lamp Post |
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| | Double Light Pole |
| | Now or Formerly (in Title of) |



Certification
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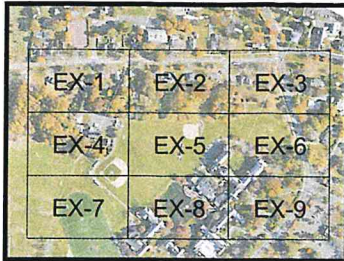
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Poughkeepsie, NY 12501
(845) 243-2400
www.lrcconsult.com

| | | | |
|--|-------|-------------|----------------|
| TOPOGRAPHIC SURVEY | | | |
| SHEET 8 of 9 | | | |
| TAFT SCHOOL | | | |
| 110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT | | | |
| Design/Coles | JW | CAD File | EX24325801.dwg |
| Drawn | RM/RN | Project No. | 24-3258 |
| Checked | JW | Date | 12/12/2025 |
| Approved | JW | Scale | 1"=20' |

SEE SHEET EX-1 FOR MAP NOTES.

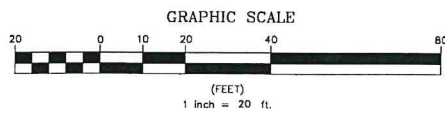
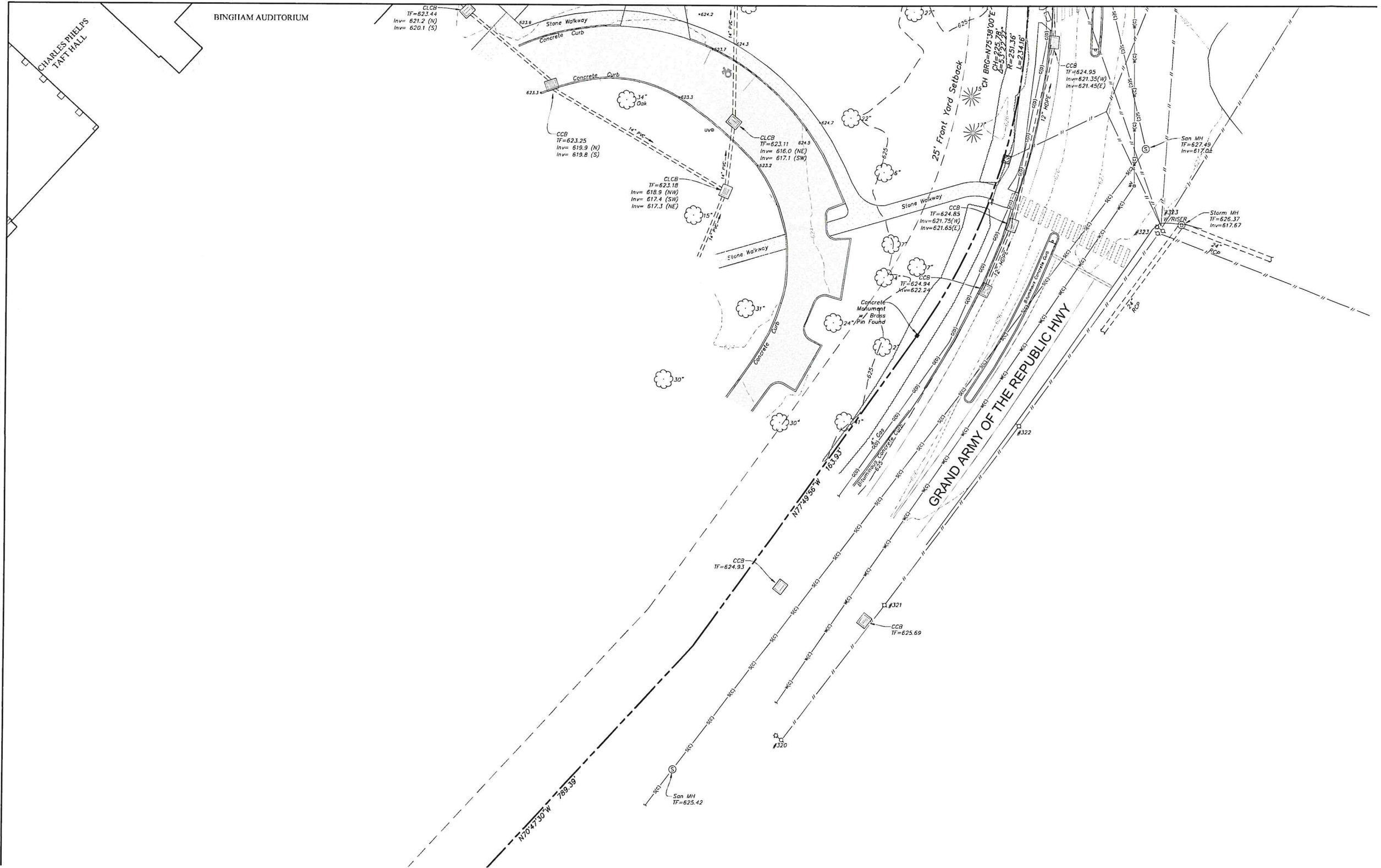
EX-8

MATCHLINE SEE SHEET 6 of 9



Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 8 of 9



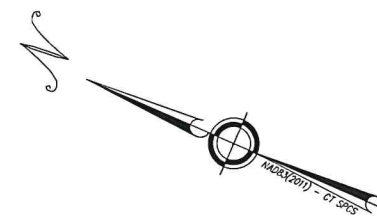
Certification
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JOHN F. WAGENBLATT L.S. No. 17,791



- Property Line
- Easement Line
- Index Contour
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- Treeline
- Hedge/Shrub Line
- Stone Wall
- Retaining Wall
- Fence
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- Legend**
- Electric Line
 - Telephone Line
 - Fiber Optic Line
 - Steam Line
 - Site Light Line
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 - Concrete Surface
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- Catch Basin
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- Shrub
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- Electric Handhole
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- Manhole, Utility Type Unknown
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- Double Light Pole
- Now or Formerly (in Title of)



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Hartford, CT 06103
(860) 252-2888
www.lrcconsult.com

SEE SHEET EX-1 FOR MAP NOTES.

TOPOGRAPHIC SURVEY
SHEET 9 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

| | | | | |
|--------------|-------|-------------|----------------|-------------|
| Design/Coles | JW | CAD File | EX24325801.dwg | Sheet No. |
| Drawn | RW/RN | Project No. | 24-3258 | EX-9 |
| Checked | JW | Date | 12/12/2025 | |
| Approved | JW | Scale | 1"=20' | |



**Student Dormitory
The Taft School**

110 Waterbury Rd
Watertown, CT 06795

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phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Roman Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

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Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NVS
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Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohoe Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title Overall Landscape Plan

Scale 1" = 60'-0"
Drawn By YZ, GS

Contractor to verify all dimensions in field and return
Architect of any discrepancies before starting work

**Student Dormitory
The Taft School**

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kehler Roman Consulting Engineers
93 Lake Ave
Danbury, CT 06610
phone 203-778-1017

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Rumford, RI 02916
phone 401-383-3574

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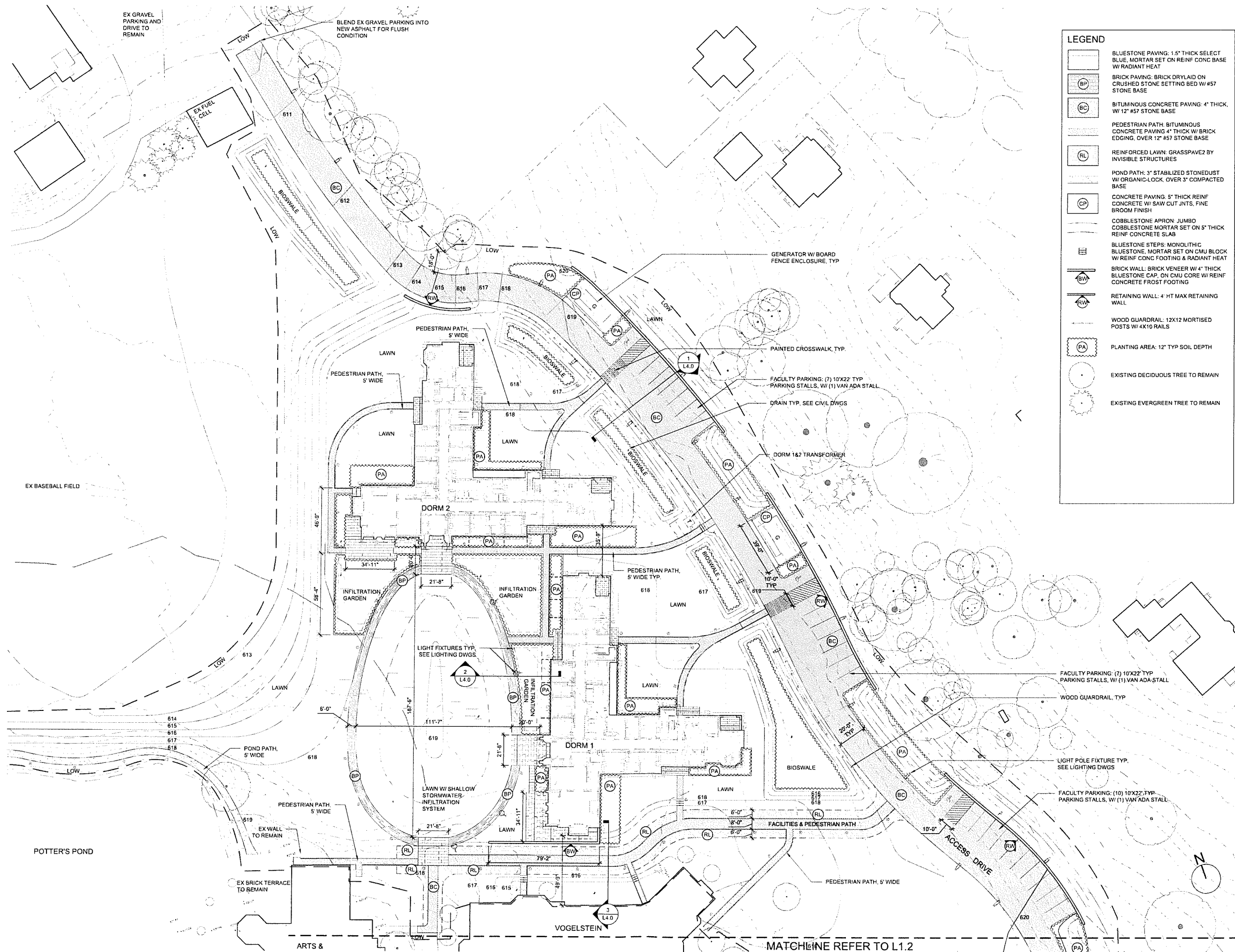
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Revision
Date January 21, 2026
Title Dorm 162
Layout & Material Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

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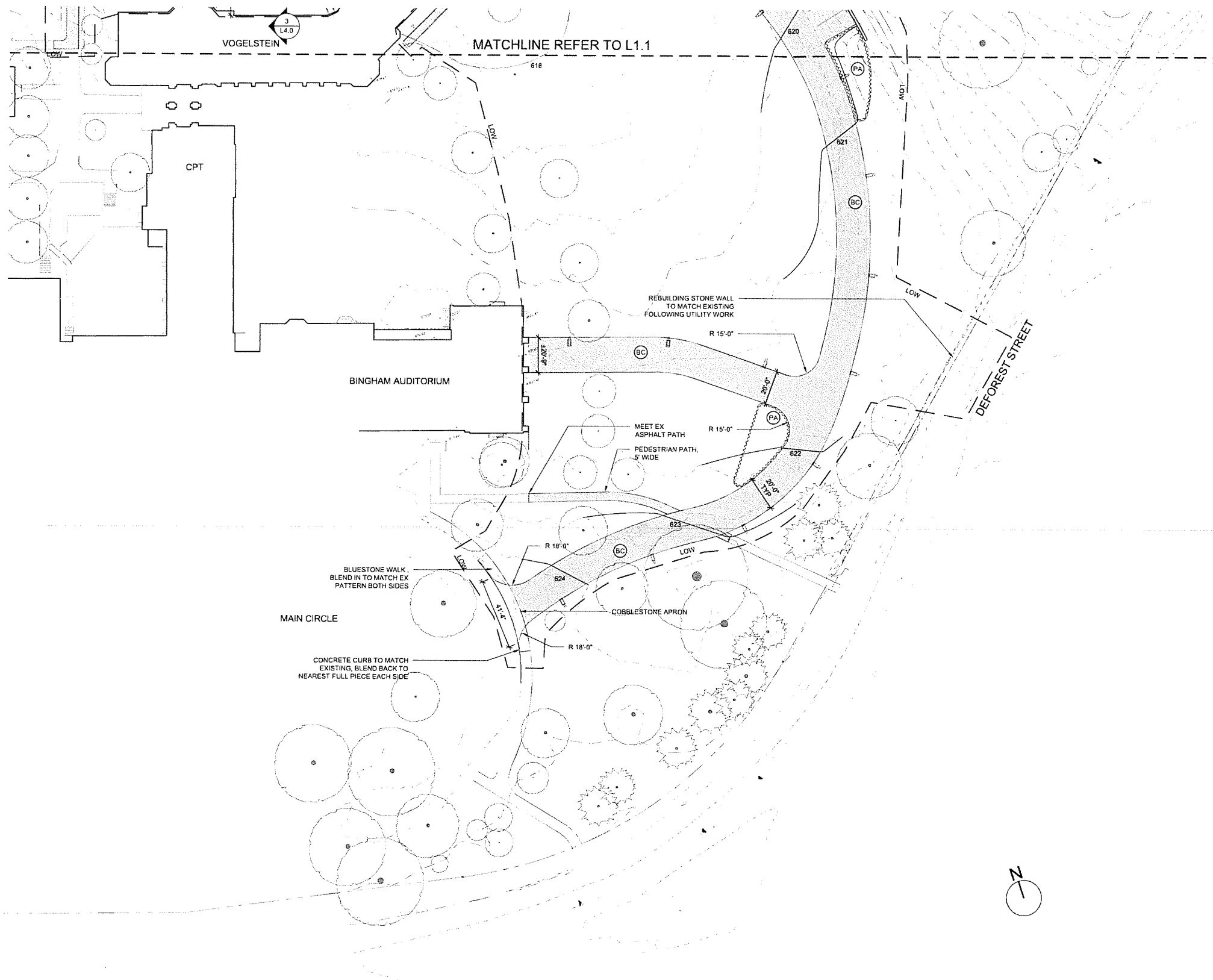
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Title Main Circle
Layout & Material Plan

Scale 1" = 30'-0"
Drawn By Y2, GS

L12

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LEGEND

| | |
|--|--|
| | BLUESTONE PAVING: 1" THICK SELECT BLUE MORTAR SET ON REINF CONC BASE W/ RADIANT HEAT |
| | BRICK PAVING: BRICK DRYLAID ON CRUSHED STONE SETTING BED W/ #57 STONE BASE |
| | BITUMINOUS CONCRETE PAVING: 4" THICK W/ 12" #57 STONE BASE |
| | PEDESTRIAN PATH: BITUMINOUS CONCRETE PAVING 4" THICK W/ BRICK EDGING, OVER 12" #57 STONE BASE |
| | REINFORCED LAWN: GRASSPAVE2 BY INVISIBLE STRUCTURES |
| | POND PATH: 3" STABILIZED STONEDUST W/ ORGANIC-LOCK, OVER 3" COMPACTED BASE |
| | CONCRETE PAVING: 5" THICK REINF CONCRETE W/ SAW CUT JNTS, FINE BROOM FINISH |
| | COBBLESTONE APRON: JUMBO COBBLESTONE MORTAR SET ON 5" THICK REINF CONCRETE SLAB |
| | BLUESTONE STEPS: MONOLITHIC BLUESTONE MORTAR SET ON CMU BLOCK W/ REINF CONC FOOTING & RADIANT HEAT |
| | BRICK WALL: BRICK VENEER W/ 4" THICK BLUESTONE CAP, ON CMU CORE W/ REINF CONCRETE FROST FOOTING |
| | RETAINING WALL: 4' HT MAX RETAINING WALL |
| | WOOD GUARDRAIL: 12X12 MORTISED POSTS W/ 4X10 RAILS |
| | PLANTING AREA: 12" TYP SOIL DEPTH |
| | EXISTING DECIDUOUS TREE TO REMAIN |
| | EXISTING EVERGREEN TREE TO REMAIN |

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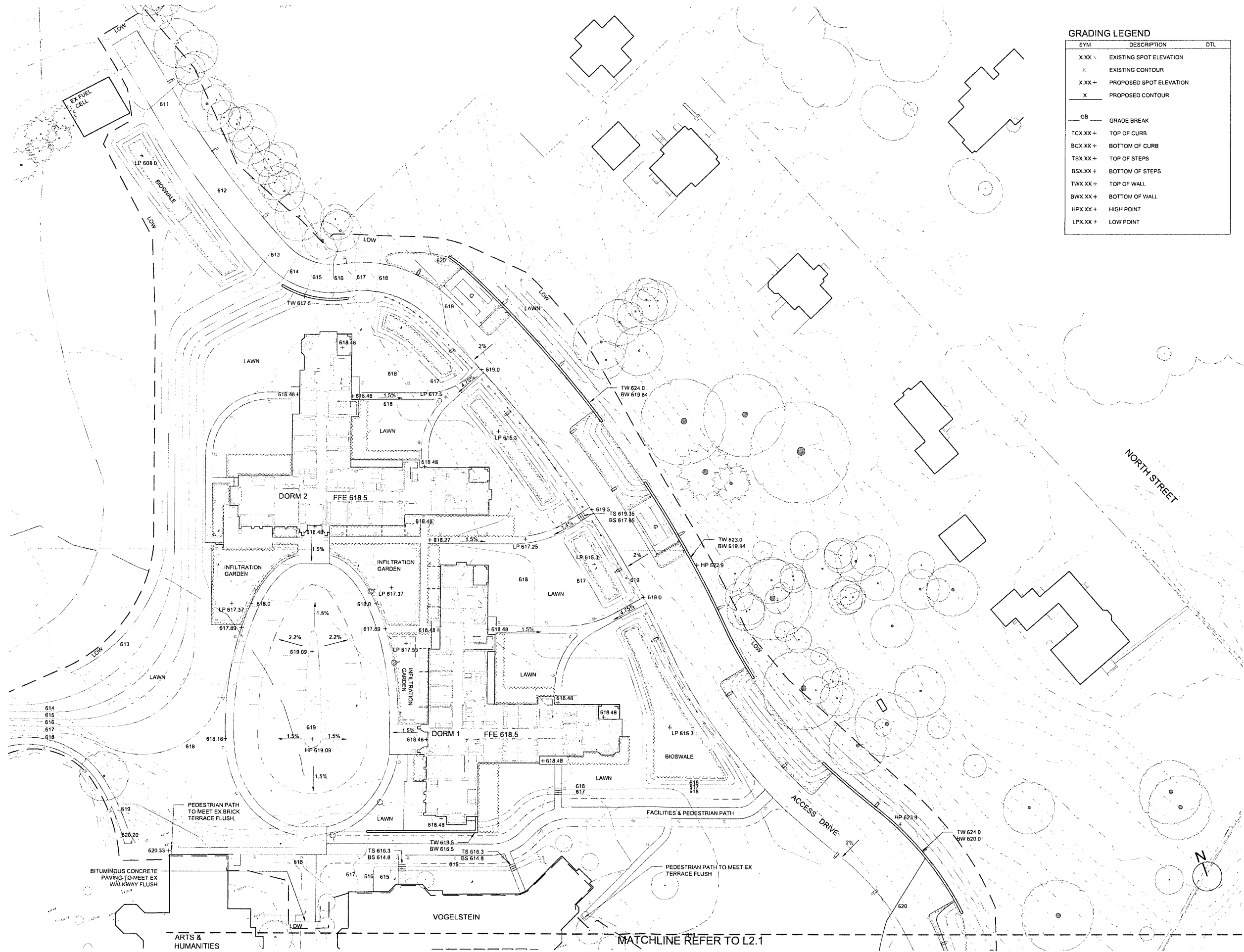
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Date January 21, 2026
Title Dorm 152
Grading Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

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GRADING LEGEND

| SYM | DESCRIPTION | DTL |
|---------|-------------------------|-----|
| X.XX | EXISTING SPOT ELEVATION | |
| X | EXISTING CONTOUR | |
| X.XX+ | PROPOSED SPOT ELEVATION | |
| X | PROPOSED CONTOUR | |
| GB | GRADE BREAK | |
| TCX.XX+ | TOP OF CURB | |
| BCX.XX+ | BOTTOM OF CURB | |
| TSX.XX+ | TOP OF STEPS | |
| BSX.XX+ | BOTTOM OF STEPS | |
| TWX.XX+ | TOP OF WALL | |
| BWX.XX+ | BOTTOM OF WALL | |
| HPX.XX+ | HIGH POINT | |
| LPX.XX+ | LOW POINT | |



MATCHLINE REFER TO L2.1

2.0

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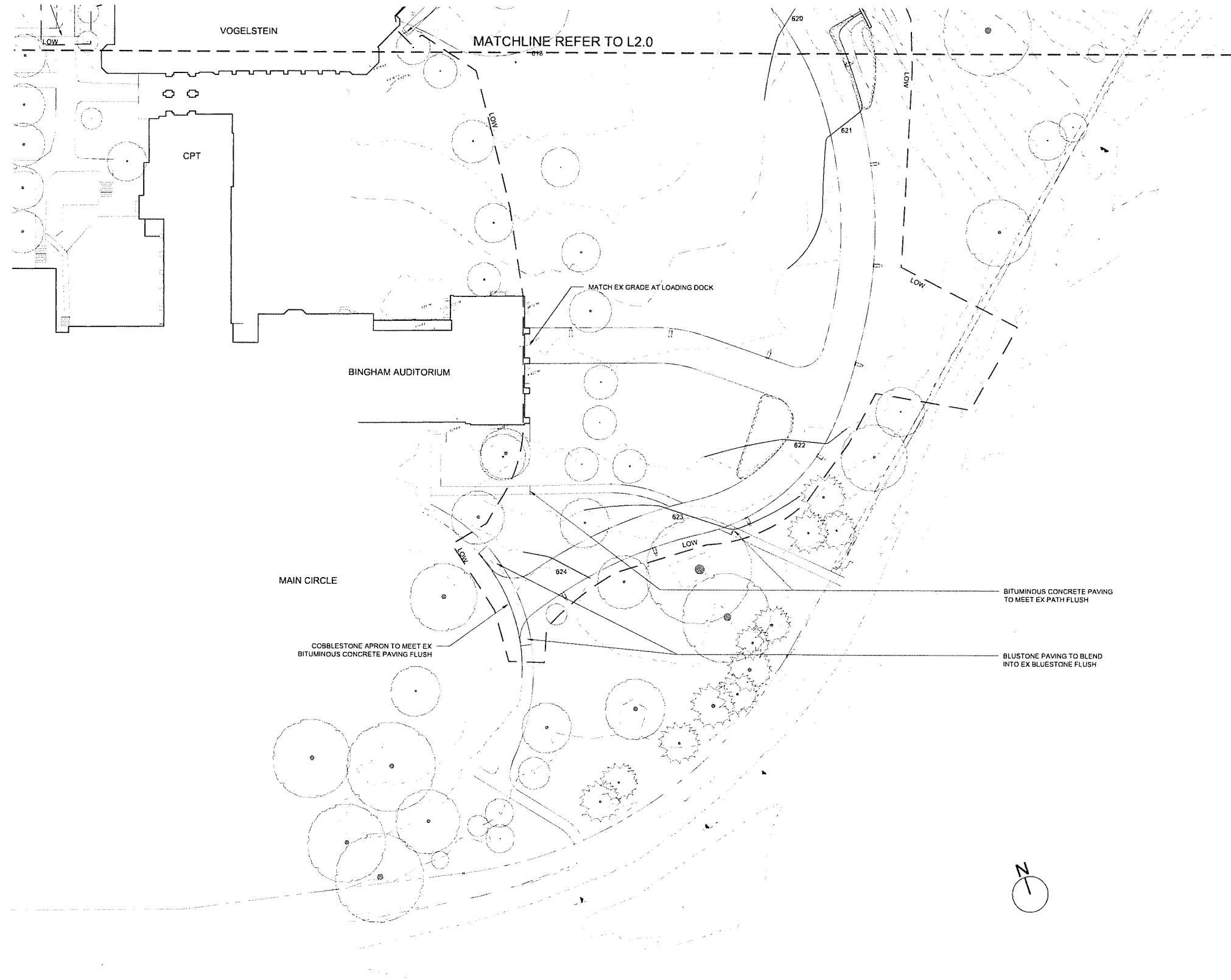
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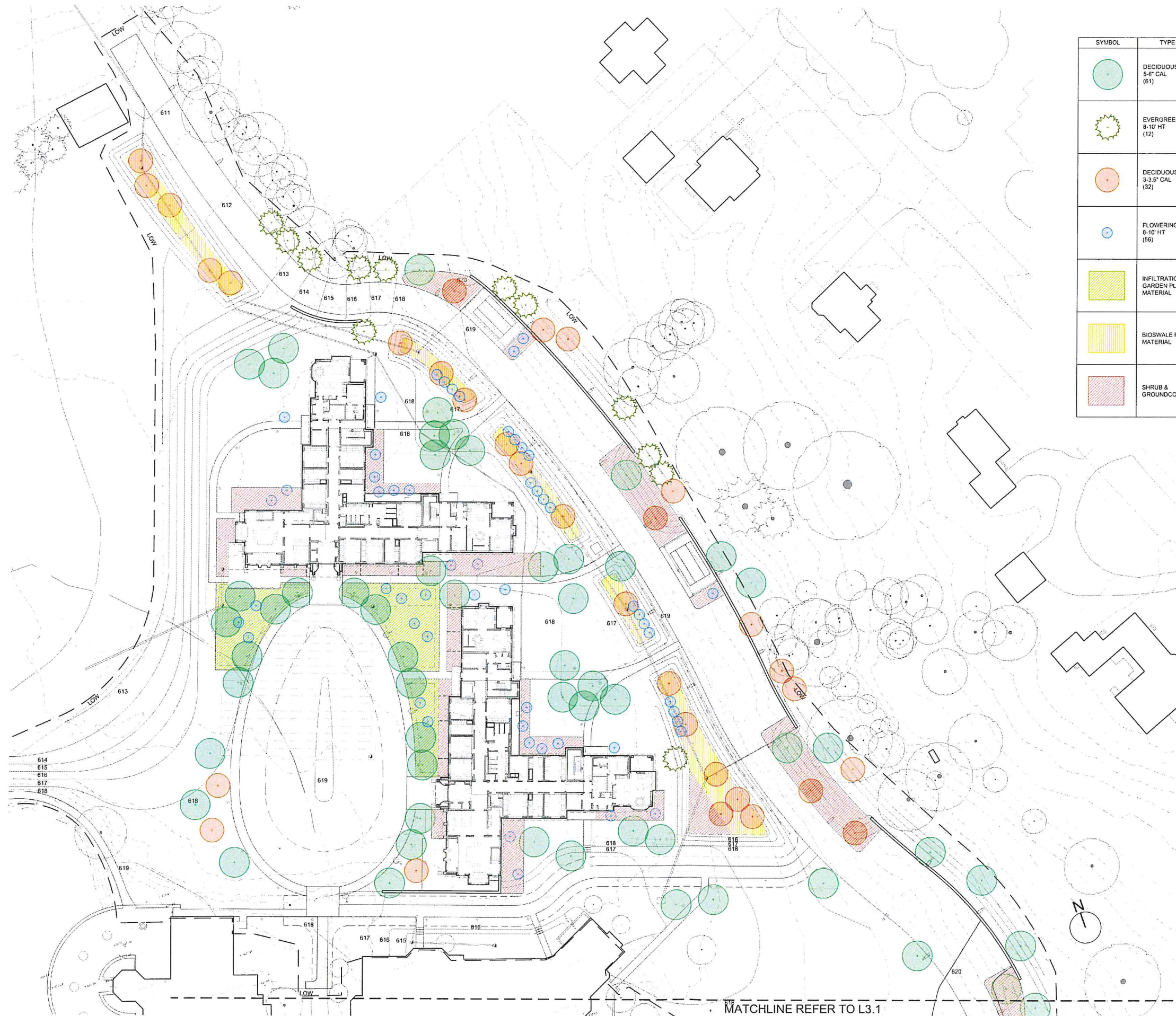
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Title Main Circle
Grading Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

GRADING LEGEND

| SYM | DESCRIPTION | DTL |
|---------|-------------------------|-----|
| X.XX | EXISTING SPOT ELEVATION | |
| X | EXISTING CONTOUR | |
| X.XX+ | PROPOSED SPOT ELEVATION | |
| X | PROPOSED CONTOUR | |
| GB | GRADE BREAK | |
| TCX.XX+ | TOP OF CURB | |
| BCX.XX+ | BOTTOM OF CURB | |
| TSX.XX+ | TOP OF STEPS | |
| BSX.XX+ | BOTTOM OF STEPS | |
| TWX.XX+ | TOP OF WALL | |
| BWX.XX+ | BOTTOM OF WALL | |
| HPX.XX+ | HIGH POINT | |
| LPX.XX+ | LOW POINT | |





| SYMBOL | TYPE | SPECIES |
|--------|--|---|
| | DECIDUOUS TREE 5-6" CAL (61) | Acer saccharum Liriodendron tulipifera Quercus alba Quercus rubra Tilia americana Ulmus americana 'Princeton' |
| | EVERGREEN TREE 8-10' HT (12) | Ilex opaca Juniperus virginiana Pinus resinosa Pinus strobus |
| | DECIDUOUS TREE 3-3.5" CAL (32) | Acer rubrum Betula alleghaniensis Nyssa sylvatica |
| | FLOWERING TREE 8-10' HT (56) | Amelanchier Cercis canadensis Cornus florida Magnolia virginiana |
| | INFILTRATION GARDEN PLANT MATERIAL | Arctostaphylos uva-ursi Aronia melanocarpa Carex pensylvanica Dennisia punctilobula Ostrya virginiana Polystichum acrostichoides |
| | BIOSWALE PLANT MATERIAL | Aronia melanocarpa Eutrochium purpureum Ilex verticillata Panicum virgatum |
| | SHRUB & GROUNDCOVER | Carex pensylvanica Ilex verticillata Liriodie spicata Pachysandra terminalis Rhus aromatica 'Gro-Low' |

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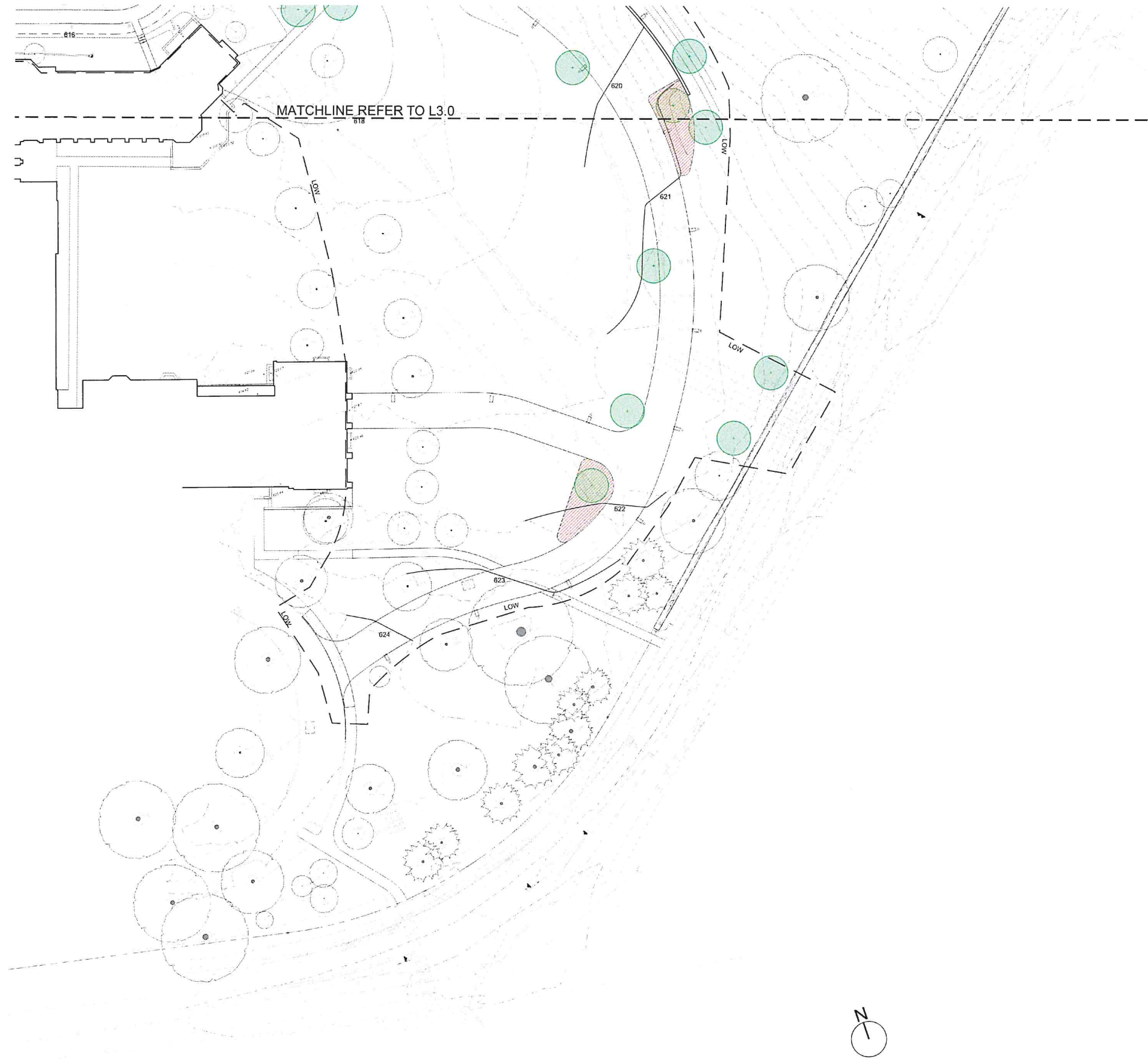
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Revision
Date January 21, 2026
Title Dorm 152
Planting Plan

Scale 1" = 30'-0"
Drawn By YZ, GS

L3.0

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



| SYMBOL | TYPE | SPECIES |
|--------|--|---|
| | DECIDUOUS TREE 5-6" CAL (61) | Acer saccharum Liriodendron tulipifera Quercus alba Quercus rubra Tilia americana Ulmus americana 'Princeton' |
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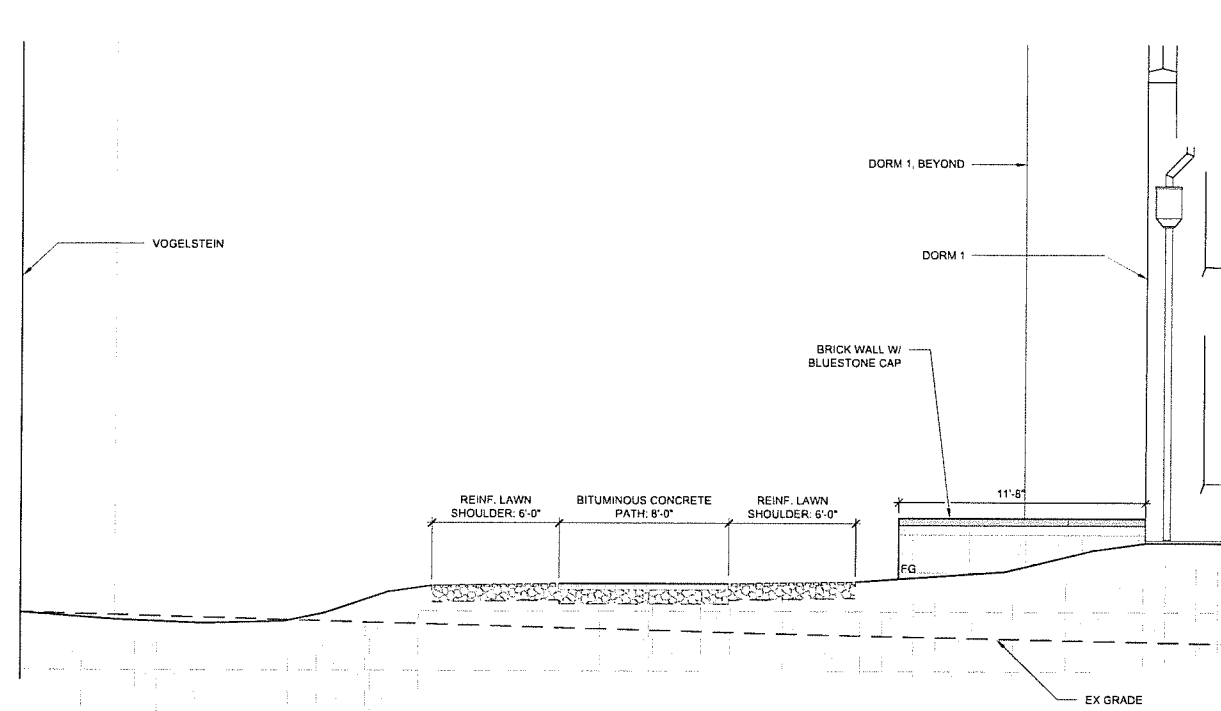
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Title Sections

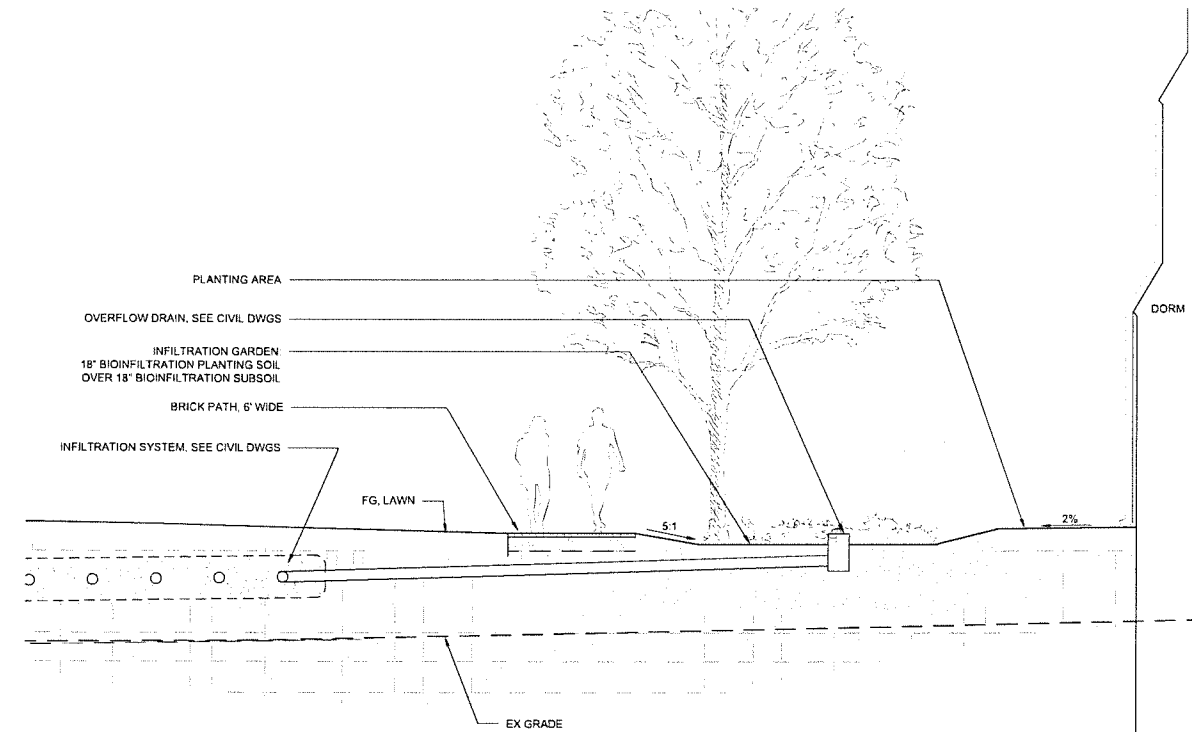
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4.0

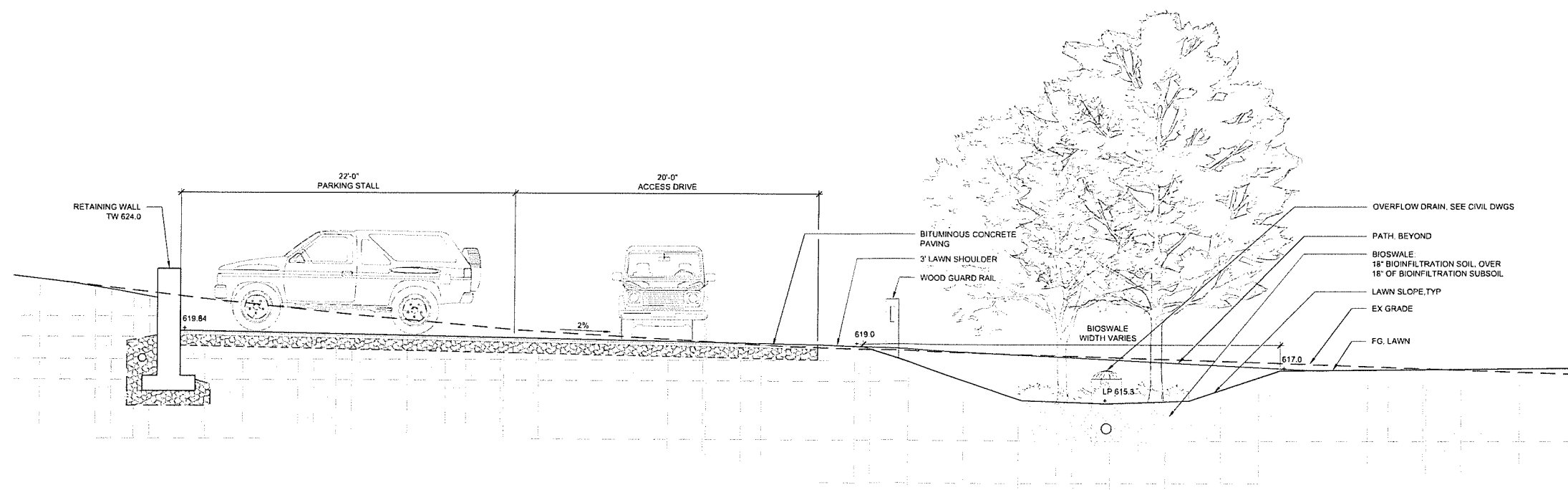
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3 PATH W/ REINFORCED LAWN SHOULDER
1/4"=1'-0"



2 INFILTRATION GARDEN SECTION
1/4"=1'-0"



1 BIOSWALE & DRIVEWAY SECTION
1/4"=1'-0"

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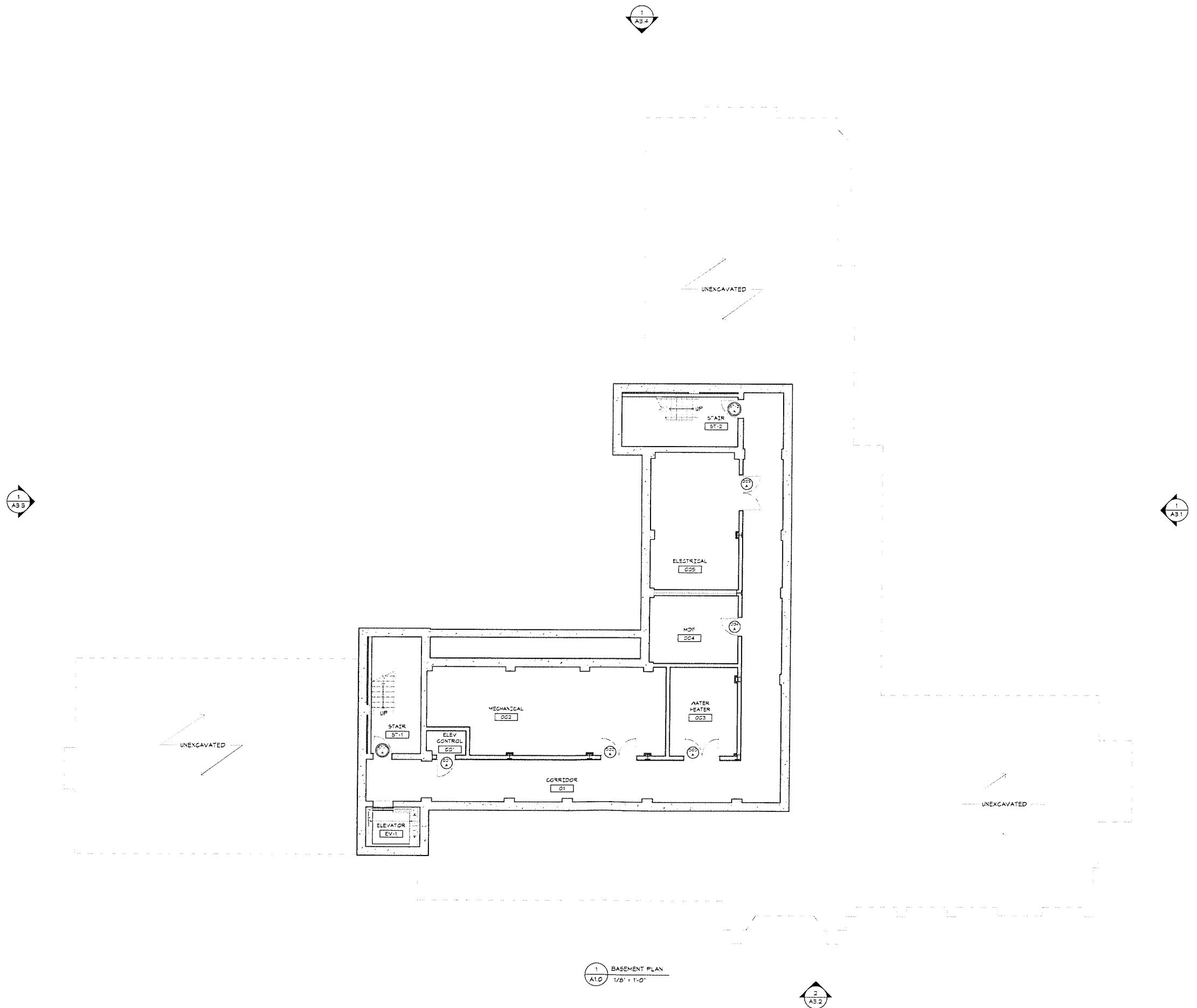
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Revision
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Title BASEMENT FLOOR
PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.0

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1 BASEMENT PLAN
A1.0 1/8" = 1'-0"



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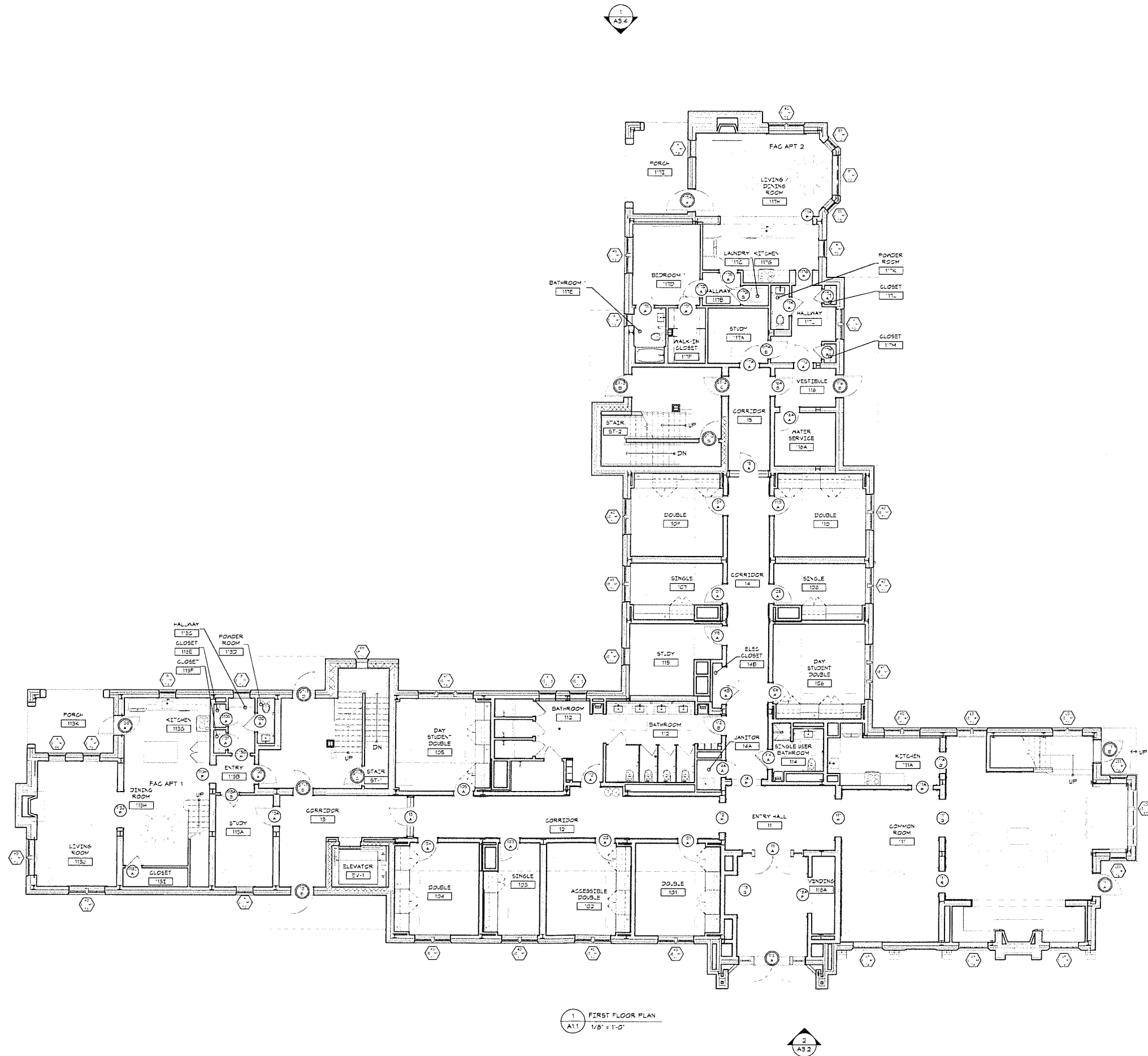
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Revision
Date January 21, 2026
Title FIRST FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.1

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1 FIRST FLOOR PLAN
A1.1 1/8" = 1'-0"

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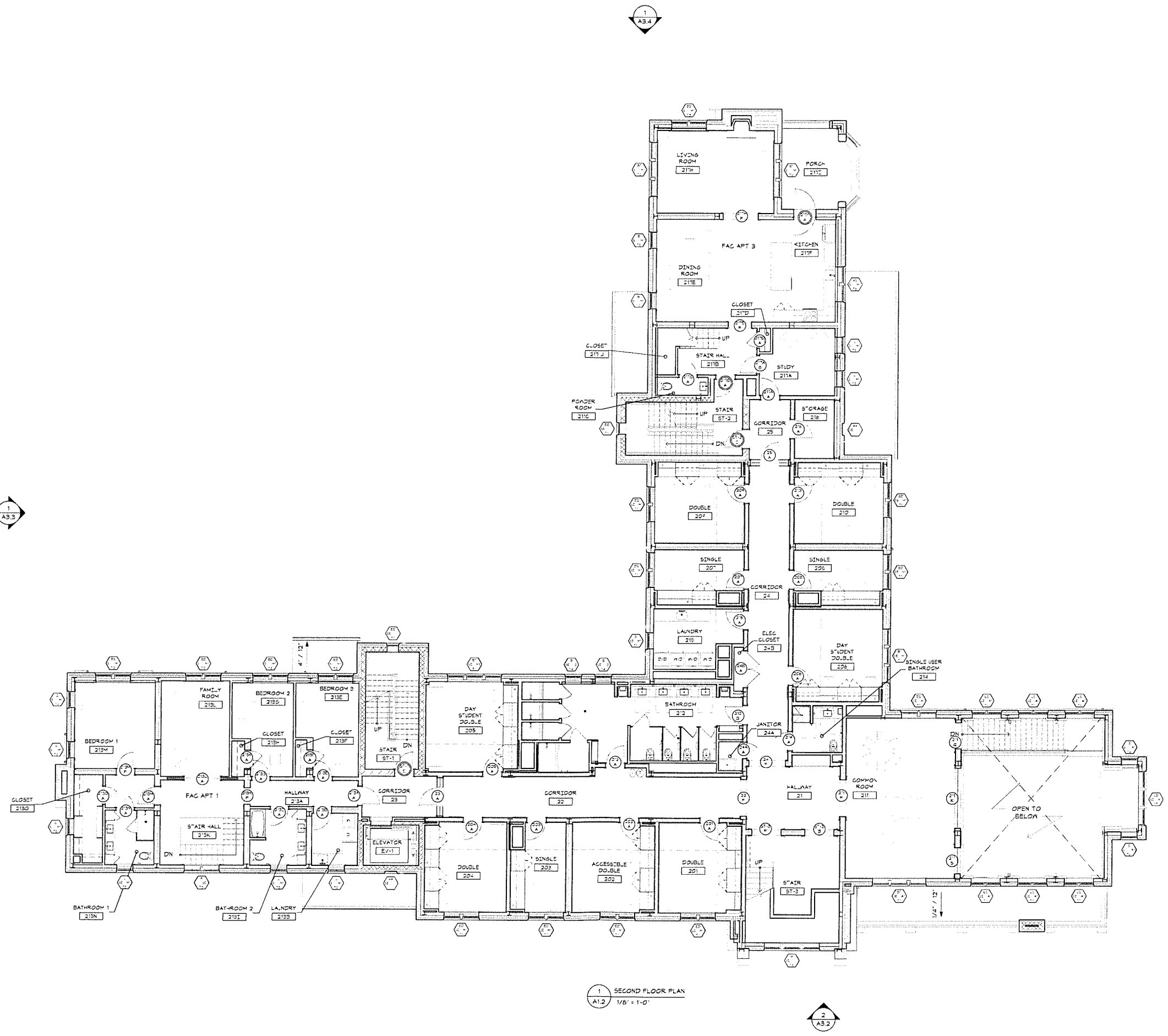
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Date January 21, 2026
Title SECOND FLOOR PLAN
Scale As indicated
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A1.2

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1 SECOND FLOOR PLAN
A1.2 1/8" = 1'-0"

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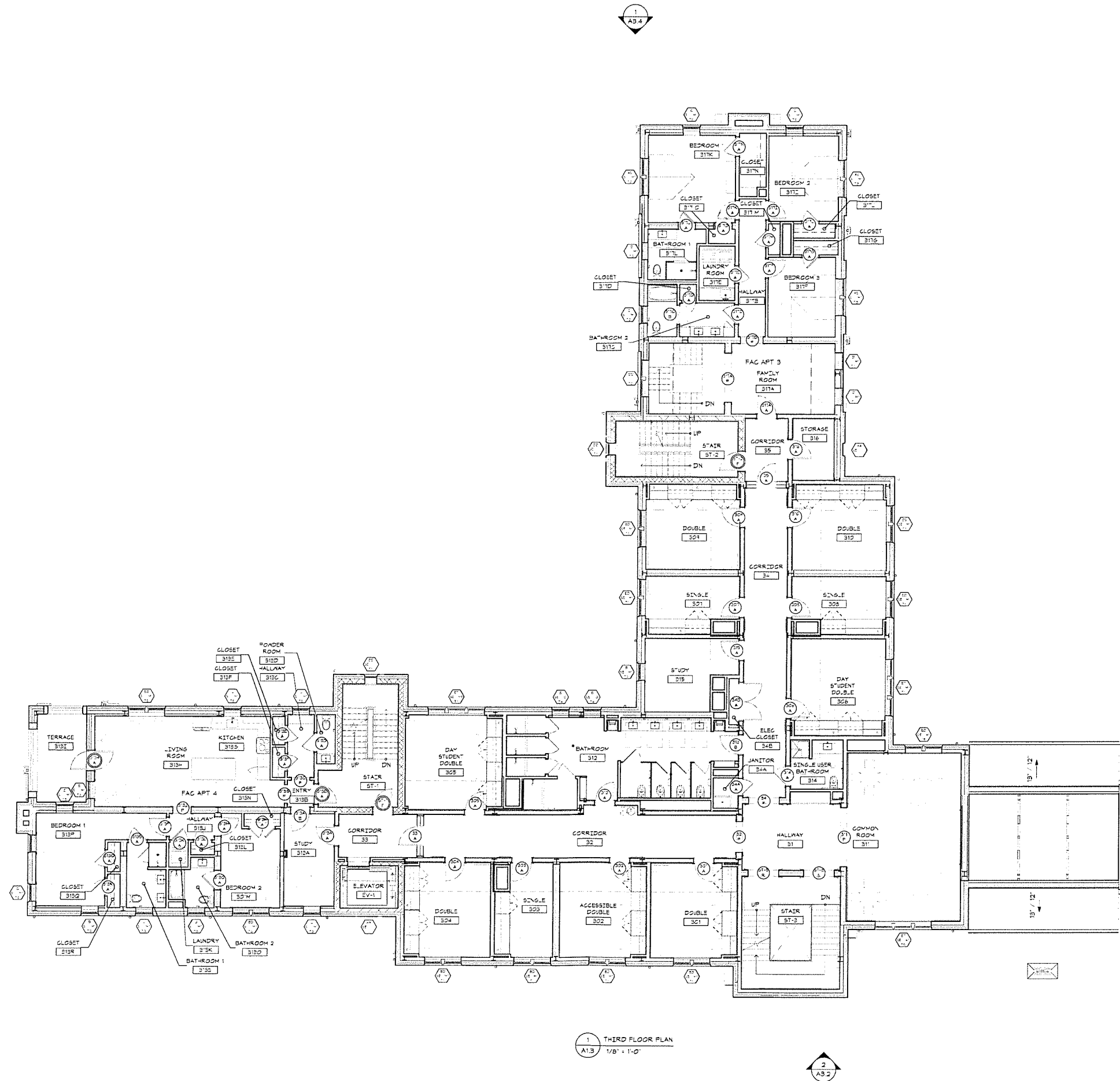
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Title THIRD FLOOR PLAN
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A1.3

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1 THIRD FLOOR PLAN
A1.3 1/8" = 1'-0"

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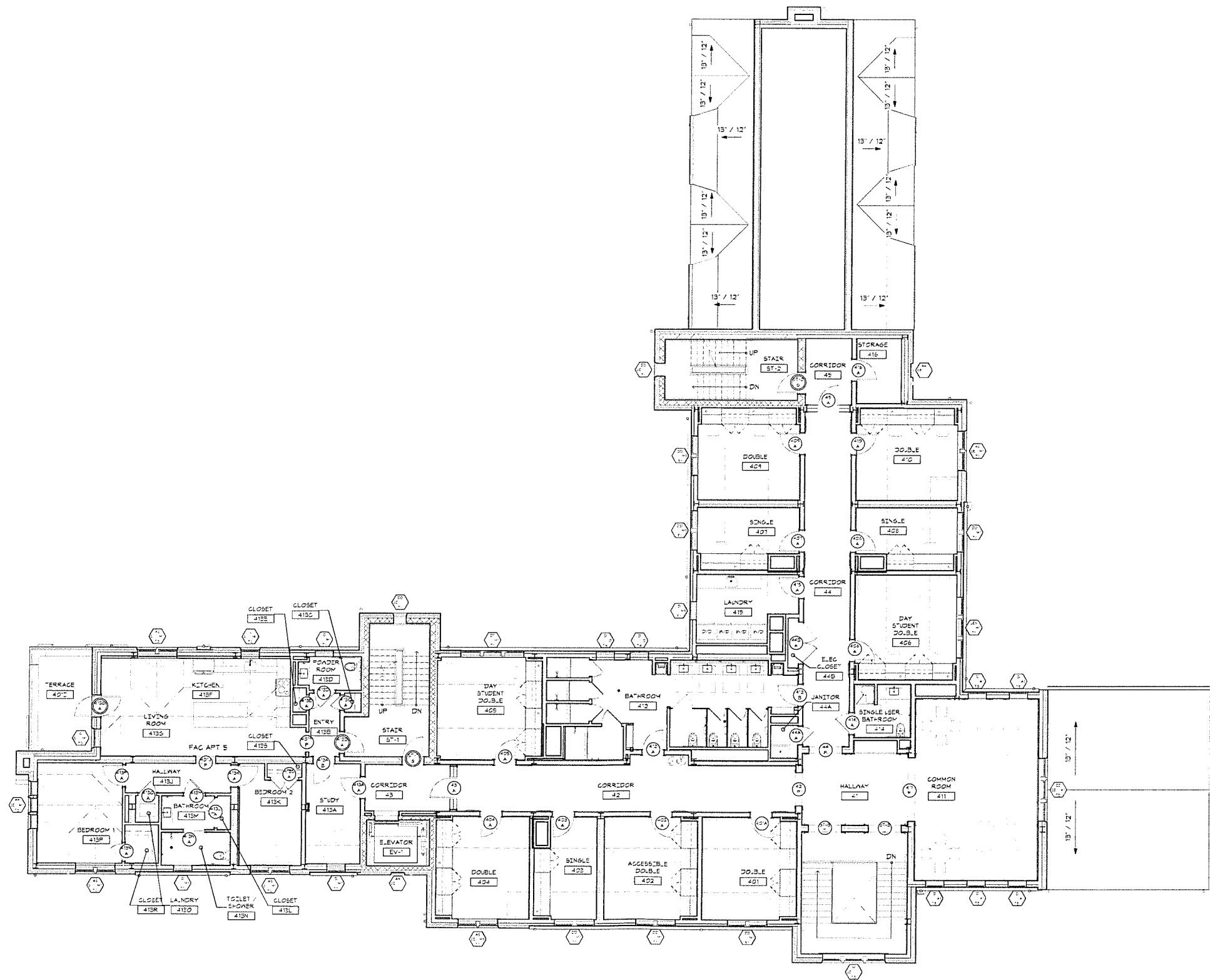
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Revision
Date January 21, 2026
Title FOURTH FLOOR PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.4

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1 FOURTH FLOOR PLAN
A1.4 1/8" = 1'-0"



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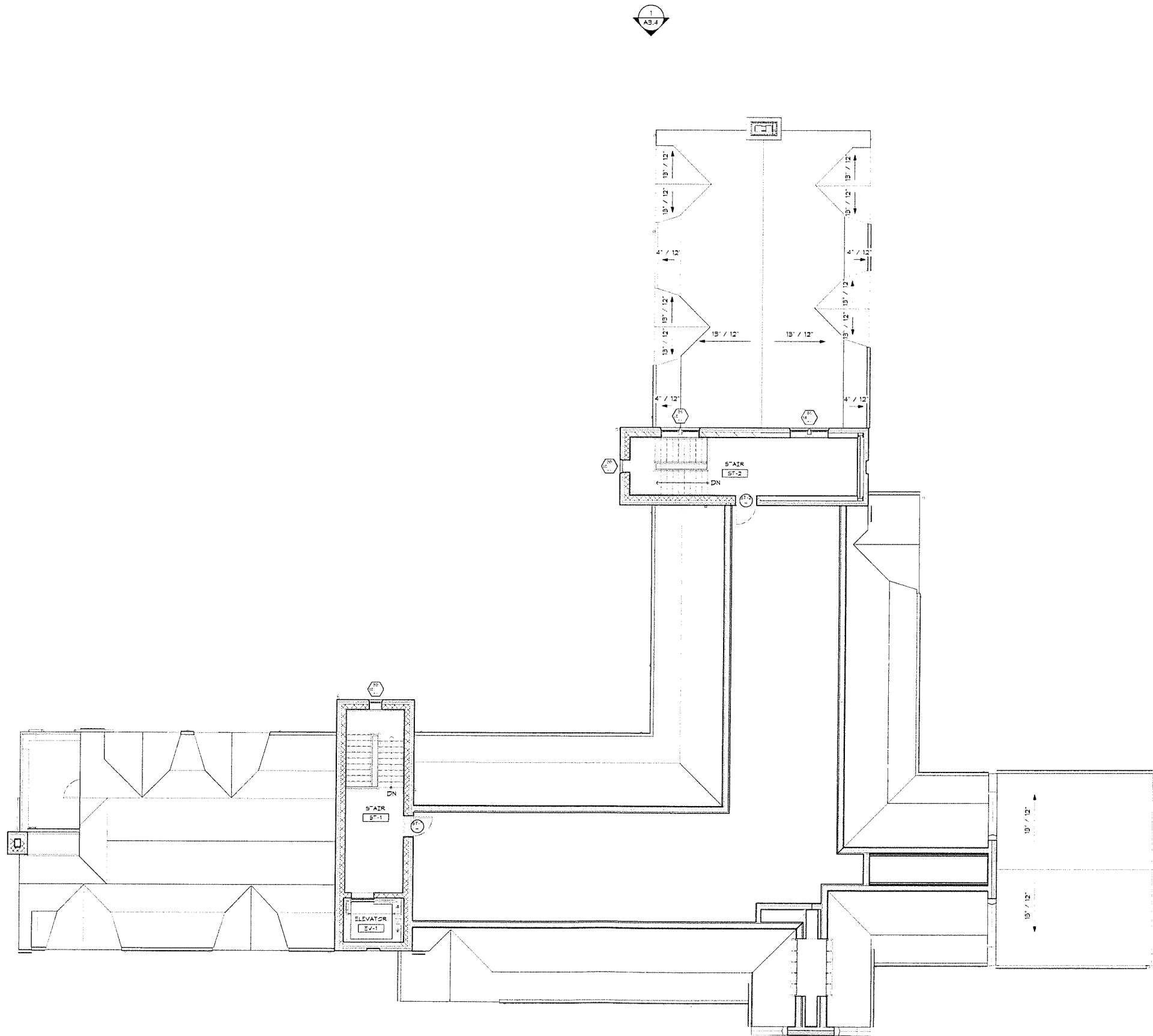
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Revision
Date January 21, 2026
Title ATTIC FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.5

Contractor to verify all dimensions in field and inform
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1 ATTIC PLAN
A1.5 1/8" = 1'-0"

2
AB.2



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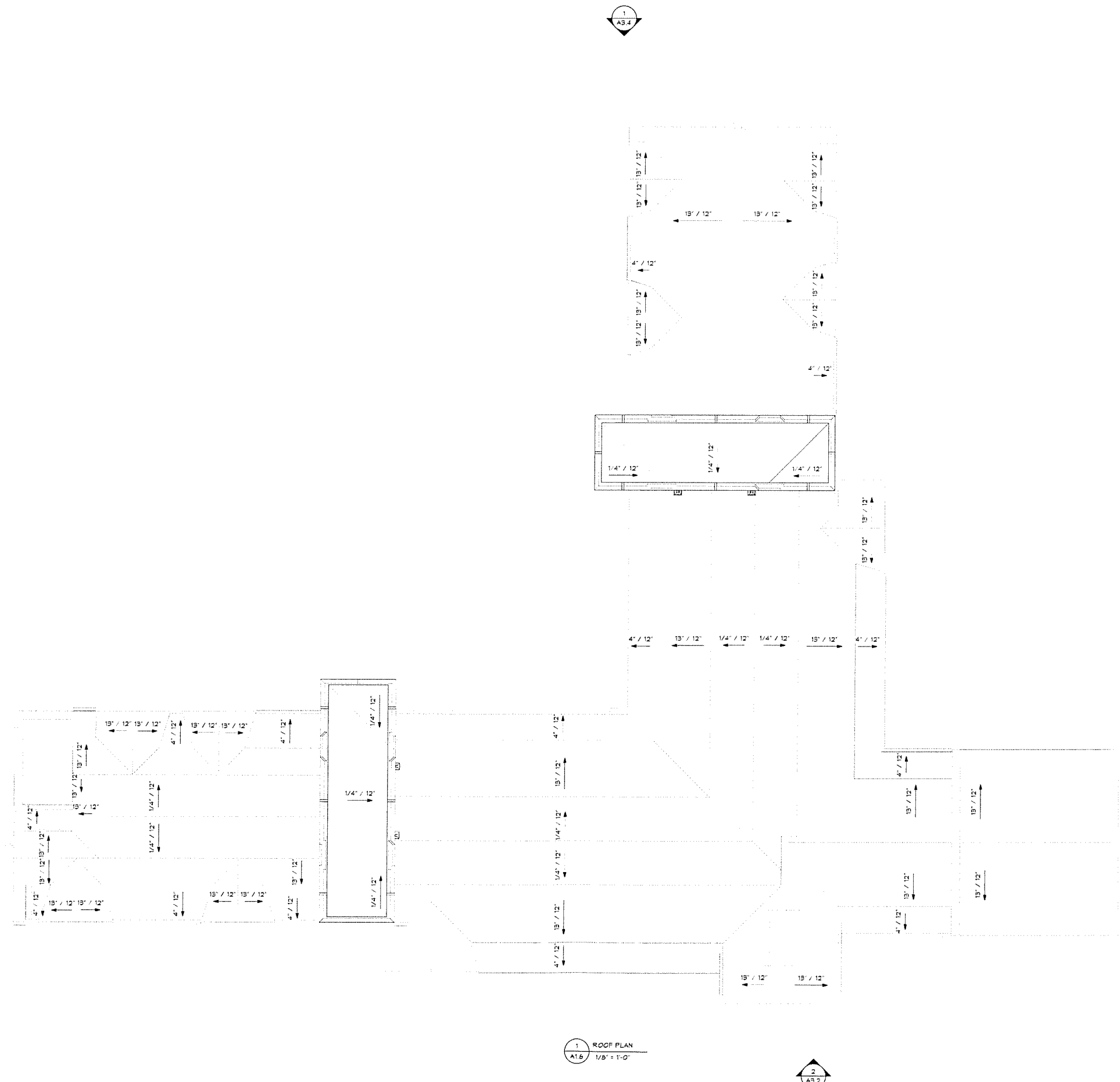
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Revision
Date January 21, 2026
Title ROOF PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.6

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



1 ROOF PLAN
A1.6 1/8" = 1'-0"



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Title ELEVATIONS

Scale As indicated
Drawn By RPD, JT, JPS

A3.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work

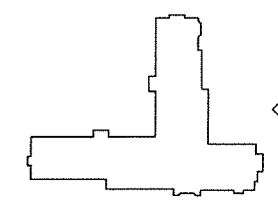
GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

- DOORS: PROVIDE 2 1/4" STAINED MAHOAGANY
STYLE-AND-RAIL DOORS W/ PANEL PATTERN AS
SHOWN. INCLUDE STAINED WOOD MULLIONS AND
TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REFLICA.
- WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPE'S.
- BRICK VENEER: MATCH COLOR AND AGGREGATE OF
BRICK USED ON CHARLES PHELPS TAFT HALL.



1 SOUTH ELEVATION
A3.1 1/8" = 1'-0"



GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY
STILE-AND-RAIL DOORS W/ PANEL PATTERN AS
SHOWN. INCLUDE STAINED WOOD MULLIONS AND
TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HPFS
3. BRICK VENEER. MATCH COLOR AND AGGREGATE OF
BRICK USED ON CHARLES PHELPS TAFT HALL.

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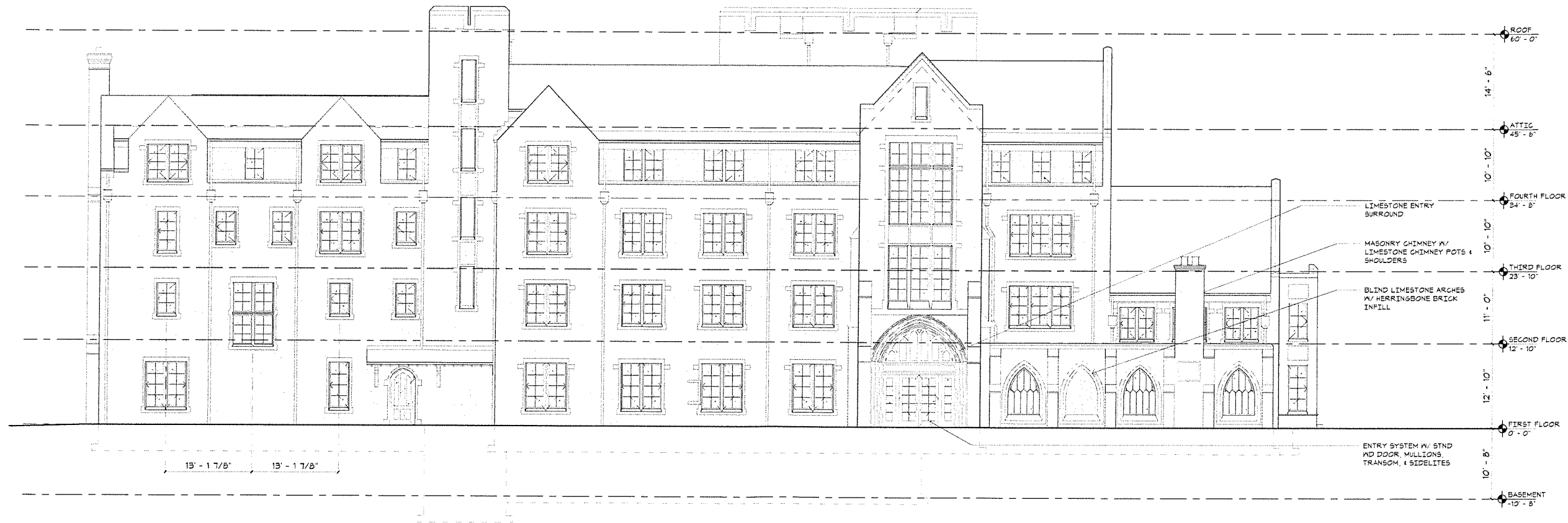
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Revision
Date January 21, 2026
Title ELEVATIONS

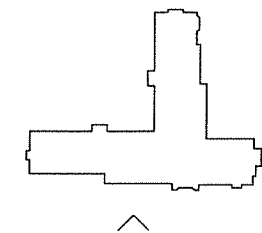
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A3.2

Contractor to verify all dimensions in field and inform
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WEST ELEVATION
1/8" = 1'-0"



GENERAL NOTE:
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(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

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STILE-AND-RAIL DOORS W/ PANEL PATTERN AS
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TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPES.
3. BRICK VENEER: MATCH COLOR AND ASSEMBLY OF
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phone 215-518-4788

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Revision
Date January 21, 2026
Title ELEVATIONS

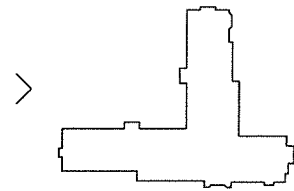
Scale As indicated
Drawn By RPD, JT, JPS

A3.3

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work.



1 NORTH ELEVATION
A3.3 1/8" = 1'-0"



GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

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LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPES.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF
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Revision
Date January 21, 2026
Title ELEVATIONS

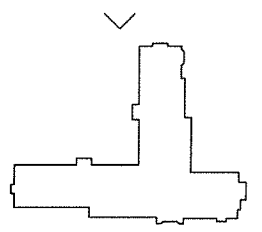
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A3.4

Contractor to verify all dimensions in field and inform
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1 EAST ELEVATION
A3.4 1/8" = 1'-0"



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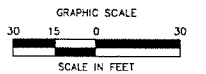
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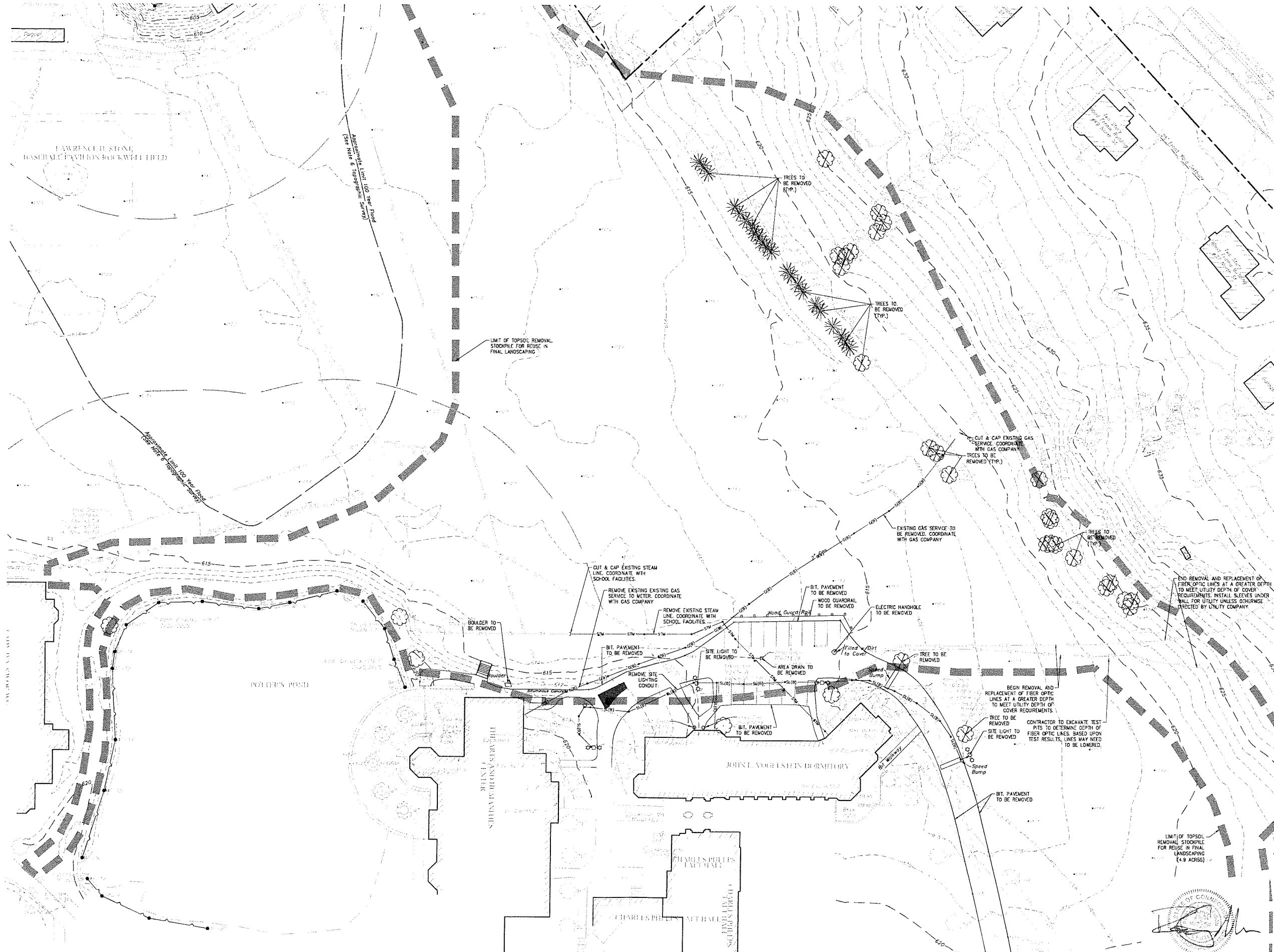


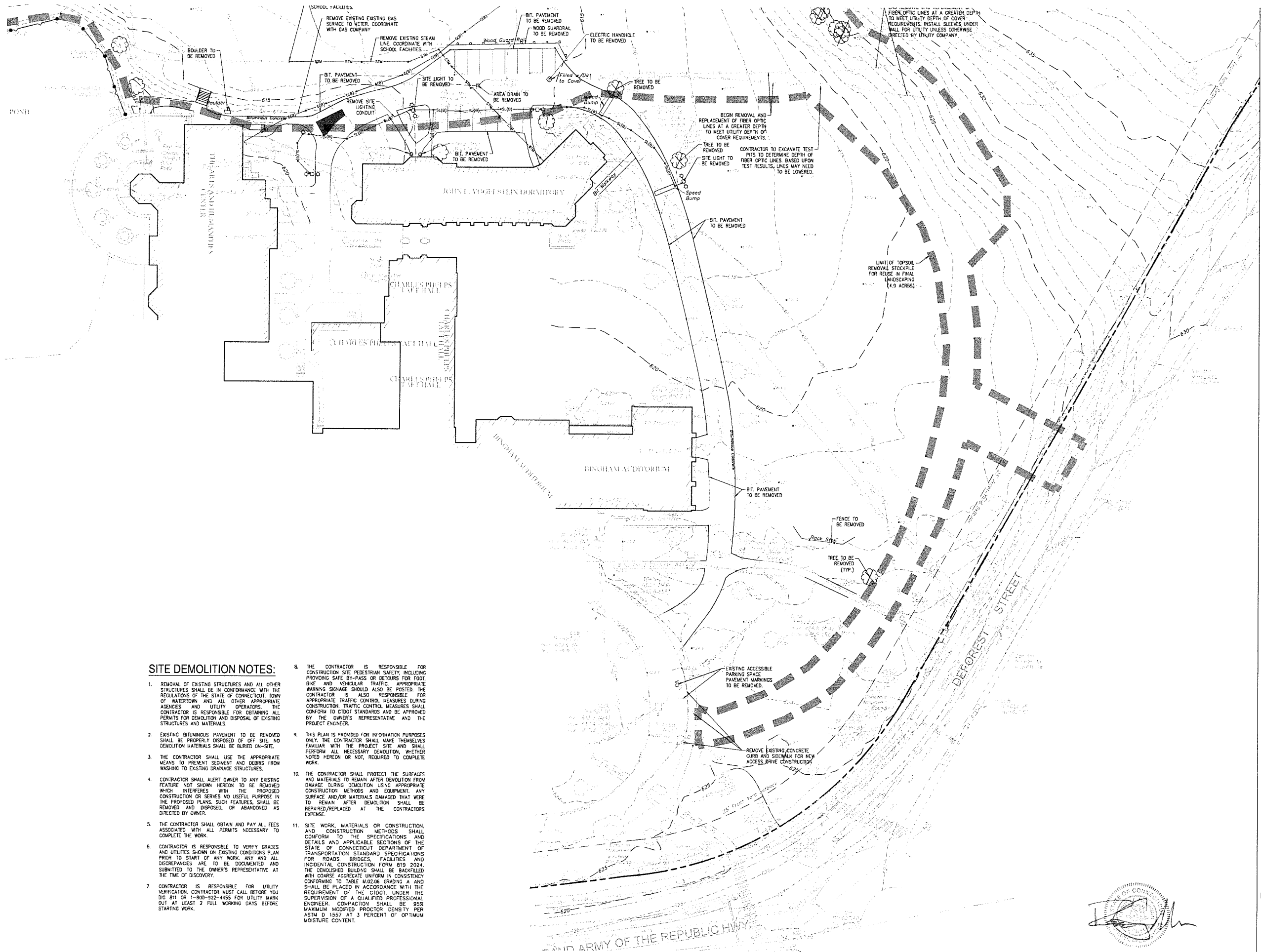
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| | |
|----------|------------------|
| Revision | |
| Date | January 21, 2026 |
| Title | DORM 1 & 2 |
| Scale | 1"=30' |
| Drawn By | HT/RR |

C1.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.





SITE DEMOLITION NOTES:

- REMOVAL OF EXISTING STRUCTURES AND ALL OTHER STRUCTURES SHALL BE IN CONFORMANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT, TOWN OF WATERTOWN AND ALL OTHER APPROPRIATE AGENCIES AND UTILITY OPERATORS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
- EXISTING BITUMINOUS PAVEMENT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF OFF SITE. NO DEMOLITION MATERIALS SHALL BE BURIED ON-SITE.
- THE CONTRACTOR SHALL USE THE APPROPRIATE MEANS TO PREVENT SEDIMENT AND DEBRIS FROM WASHING TO EXISTING DRAINAGE STRUCTURES.
- CONTRACTOR SHALL ALERT OWNER TO ANY EXISTING FEATURE NOT SHOWN HEREON TO BE REMOVED WHICH INTERFERES WITH THE PROPOSED CONSTRUCTION OR SERVES NO USEFUL PURPOSE IN THE PROPOSED PLANS. SUCH FEATURES SHALL BE REMOVED AND DISPOSED, OR ABANDONED AS DIRECTED BY OWNER.
- THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES SHOWN ON EXISTING CONDITIONS PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO THE OWNER'S REPRESENTATIVE AT THE TIME OF DISCOVERY.
- CONTRACTOR IS RESPONSIBLE FOR UTILITY VERIFICATION. CONTRACTOR MUST CALL BEFORE YOU DIG 811 OR 1-800-922-4455 FOR UTILITY MARK OUT AT LEAST 2 FULL WORKING DAYS BEFORE STARTING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE PEDESTRIAN SAFETY, INCLUDING PROVIDING SAFE BY-PASS OR DETOURS FOR FOOT, BIKE AND VEHICULAR TRAFFIC. APPROPRIATE WARNING SIGNAGE SHOULD ALSO BE POSTED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR APPROPRIATE TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. TRAFFIC CONTROL MEASURES SHALL CONFORM TO CDOT STANDARDS AND BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE PROJECT ENGINEER.
- THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE PROJECT SITE AND SHALL PERFORM ALL NECESSARY DEMOLITION, WHETHER NOTED HEREON OR NOT, REQUIRED TO COMPLETE WORK.
- THE CONTRACTOR SHALL PROTECT THE SURFACES AND MATERIALS TO REMAIN AFTER DEMOLITION FROM DAMAGE DURING DEMOLITION USING APPROPRIATE CONSTRUCTION METHODS AND EQUIPMENT. ANY SURFACE AND/OR MATERIALS DAMAGED THAT WERE TO REMAIN AFTER DEMOLITION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
- SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 819 2024. THE DEMOLISHED BUILDING SHALL BE BACKFILLED WITH COURSE AGGREGATE UNIFORM IN CONSISTENCY CONFORMING TO TABLE M.02.06 GRADING A AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CDOT UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTON SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.

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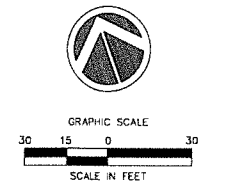
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|-----------------|------------------|
| Date | January 21, 2026 |
| Title | DORM 1 & 2 |
| DEMOLITION PLAN | |
| Scale | 1"=30' |
| Drawn By | HT/RR |

C1.2



Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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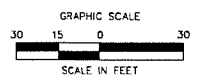
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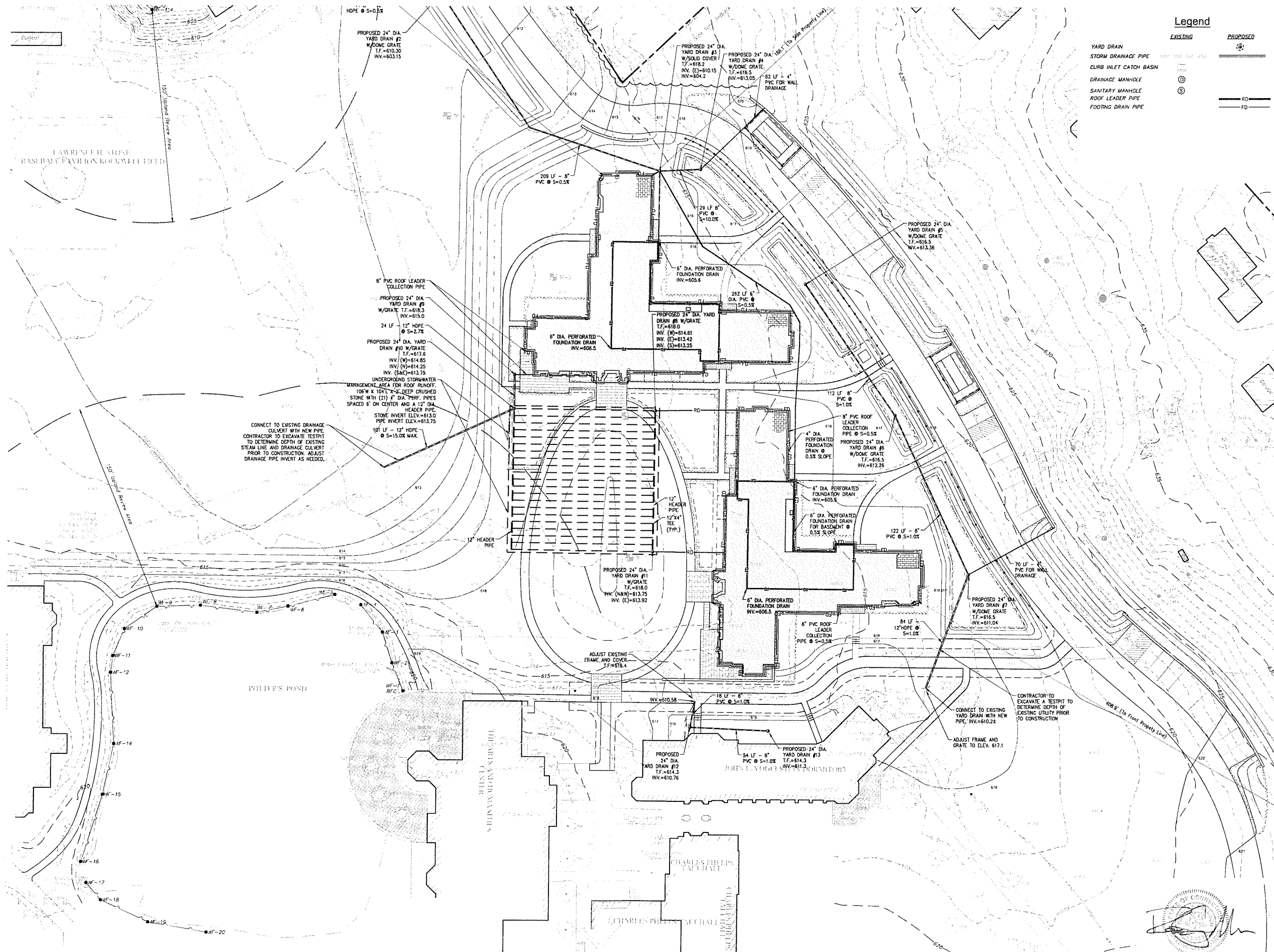
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|----------|-------------------------------|
| Date | January 21, 2026 |
| Title | DORM 1 & 2 DEMOLITION PLAN |
| Scale | 1"=30' |
| Drawn By | HT/RR |

C1.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.





Legend

| EXISTING | PROPOSED |
|------------------------|------------------------|
| YARD DRAIN | YARD DRAIN |
| STORM DRAINAGE PIPE | STORM DRAINAGE PIPE |
| CURB INLET CATCH BASIN | CURB INLET CATCH BASIN |
| DRAINAGE MANHOLE | DRAINAGE MANHOLE |
| SANITARY MANHOLE | SANITARY MANHOLE |
| ROOF LEADER PIPE | ROOF LEADER PIPE |
| FOOTING DRAIN PIPE | FOOTING DRAIN PIPE |

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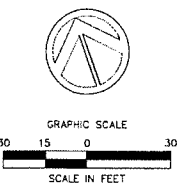
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 Title DORM 1 & 2 - DRAINAGE PLAN
 Scale 1"=30'
 Drawn By HT/RR

C2.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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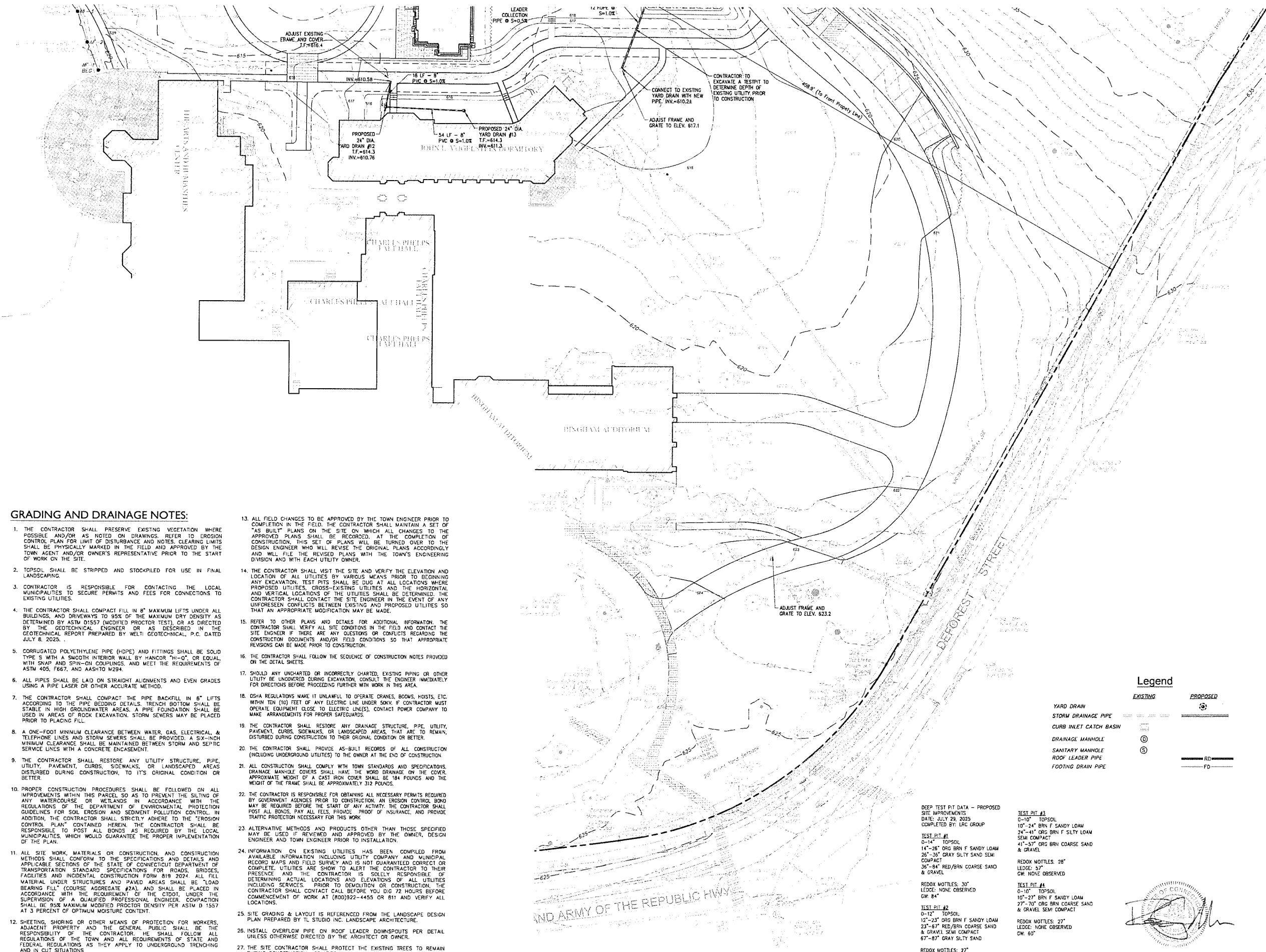
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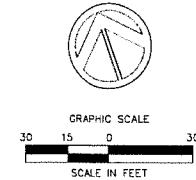
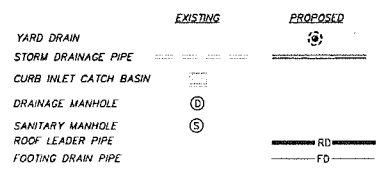
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GRADING AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN AGENT AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK ON THE SITE.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
3. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
4. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS DESCRIBED IN THE GEOTECHNICAL REPORT PREPARED BY MELTI GEOTECHNICAL, P.C. DATED JULY 8, 2025.
5. CORRUGATED POLYETHYLENE PIPE (HDPE) AND FITTINGS SHALL BE SOLID TYPE S WITH A SMOOTH INTERIOR WALL BY HANCOR "HI-Q", OR EQUAL, WITH SNAP AND SPIN-ON COUPLINGS, AND MEET THE REQUIREMENTS OF ASTM 405, F667, AND AASHTO M294.
6. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
7. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
8. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, & TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SEPTIC SERVICE LINES WITH A CONCRETE ENCASEMENT.
9. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO ITS ORIGINAL CONDITION OR BETTER.
10. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL, SO AS TO PREVENT THE SLTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
11. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 819 2024. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COARSE AGGREGATE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE C1001, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
12. SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
13. ALL FIELD CHANGES TO BE APPROVED BY THE TOWN ENGINEER PRIOR TO COMPLETION IN THE FIELD. THE CONTRACTOR SHALL MAINTAIN A SET OF "AS BUILT" PLANS ON THE SITE ON WHICH ALL CHANGES TO THE APPROVED PLANS SHALL BE RECORDED. AT THE COMPLETION OF CONSTRUCTION, THIS SET OF PLANS WILL BE TURNED OVER TO THE DESIGN ENGINEER WHO WILL REVISE THE ORIGINAL PLANS ACCORDINGLY AND WILL FILE THE REVISED PLANS WITH THE TOWN'S ENGINEERING DIVISION AND WITH EACH UTILITY OWNER.
14. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED UTILITIES, CROSS-EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
15. REFER TO OTHER PLANS AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE DETAIL SHEETS.
17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
18. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINE(S), CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
19. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS, THAT ARE TO REMAIN, DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER.
20. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
21. ALL CONSTRUCTION SHALL COMPLY WITH TOWN STANDARDS AND SPECIFICATIONS. DRAINAGE MANHOLE COVERS SHALL HAVE THE WORD DRAINAGE ON THE COVER. APPROXIMATE WEIGHT OF A CAST IRON COVER SHALL BE 184 POUNDS AND THE WEIGHT OF THE FRAME SHALL BE APPROXIMATELY 312 POUNDS.
22. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. AN EROSION CONTROL BOND MAY BE REQUIRED BEFORE THE START OF ANY ACTIVITY. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THIS WORK.
23. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, DESIGN ENGINEER AND TOWN ENGINEER PRIOR TO INSTALLATION.
24. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE OF DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922-4455 OR 811 AND VERIFY ALL LOCATIONS.
25. SITE GRADING & LAYOUT IS REFERENCED FROM THE LANDSCAPE DESIGN PLAN PREPARED BY TL STUDIO INC. LANDSCAPE ARCHITECTURE.
26. INSTALL OVERFLOW PIPE ON ROOF LEADER DOWNSPOUTS PER DETAIL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT OR OWNER.
27. THE SITE CONTRACTOR SHALL PROTECT THE EXISTING TREES TO REMAIN DURING CONSTRUCTION ACTIVITIES.

Legend



DEEP TEST PIT DATA - PROPOSED
SITE IMPROVEMENTS
DATE: JULY 29, 2025
COMPLETED BY: LRC GROUP

TEST PIT #1
0-14" TOPSOIL
14"-26" ORG BRN F SANDY LOAM
26"-36" GRAY SILTY SAND SEMI COMPACT
36"-84" RED/BRN COARSE SAND & GRAVEL

REDOX MOTTLES: 30"
LEDC: NONE OBSERVED
GW: 84"

TEST PIT #2
0-12" TOPSOIL
12"-23" ORG BRN F SANDY LOAM
23"-57" RED/BRN COARSE SAND & GRAVEL SEMI COMPACT
57"-87" GRAY SILTY SAND

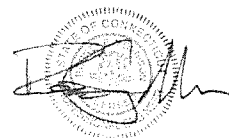
REDOX MOTTLES: 27"
LEDC: NONE OBSERVED
GW: 87"

TEST PIT #3
0-10" TOPSOIL
10"-24" BRN F SANDY LOAM
24"-41" ORG BRN F SILTY LOAM SEMI COMPACT
41"-57" ORG BRN COARSE SAND & GRAVEL

REDOX MOTTLES: 28"
LEDC: S7"
GW: NONE OBSERVED

TEST PIT #4
0-10" TOPSOIL
10"-27" BRN F SANDY LOAM
27"-70" ORG BRN COARSE SAND & GRAVEL SEMI COMPACT

REDOX MOTTLES: 27"
LEDC: NONE OBSERVED
GW: 60"



ZONING SUBMISSION
NOT FOR CONSTRUCTION
Revision
Date: January 21, 2026
Title: DORM 1 & 2 - DRAINAGE PLAN

Scale: 1"=30'
Drawn By: HT/RR

C2.2

Contractor to verify all dimensions in field and return. Accuracy of any discrepancies before starting work.

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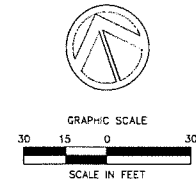
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Revision
 Date January 21, 2026
 Title DORM 1 & 2 - DRAINAGE PLAN

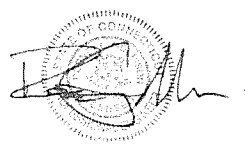
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 Drawn By HTRR

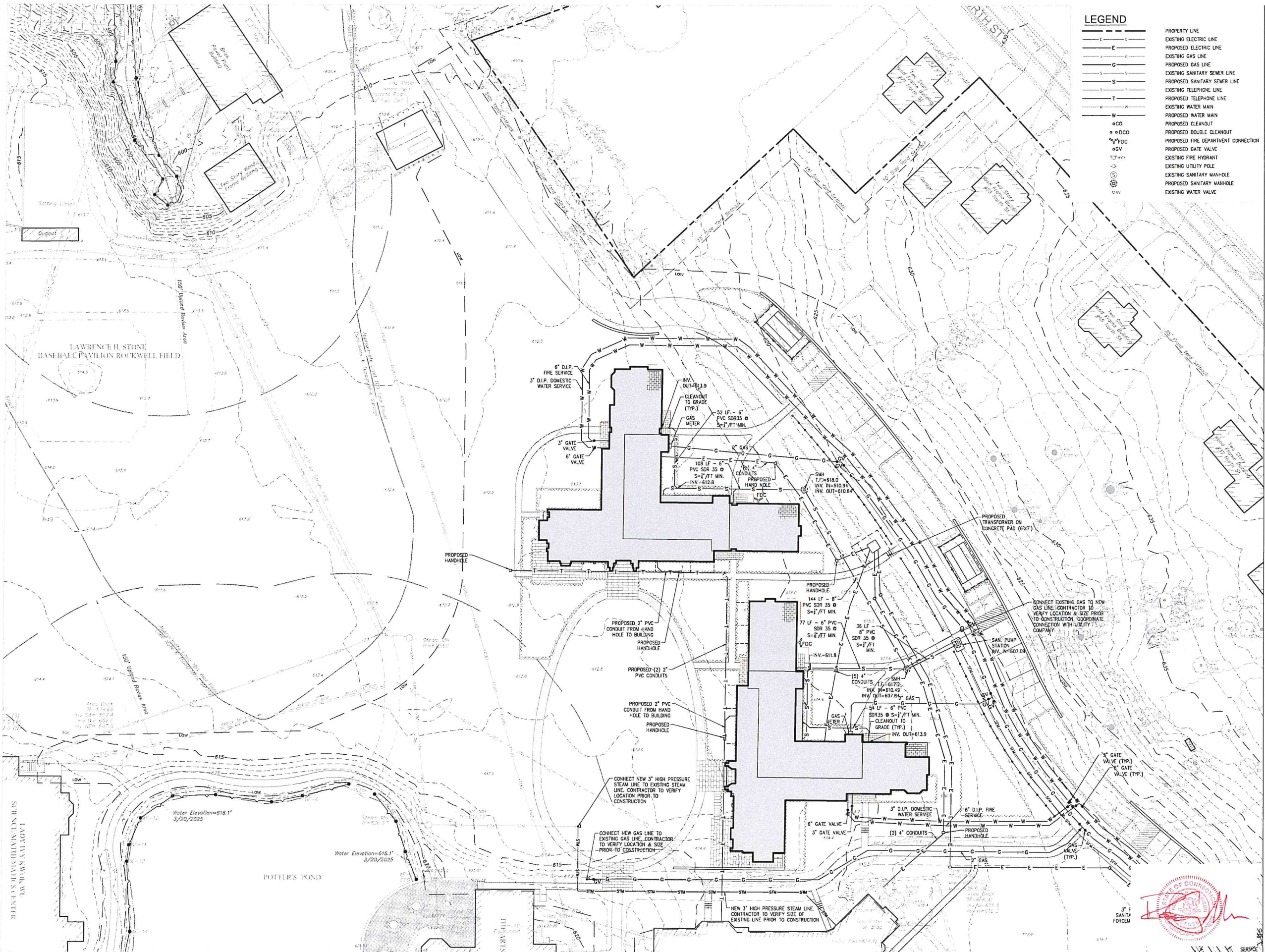
C2.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

Legend

| | EXISTING | PROPOSED |
|------------------------|----------|----------|
| YARD DRAIN | --- | --- |
| STORM DRAINAGE PIPE | --- | --- |
| CURB INLET CATCH BASIN | ⊠ | ⊠ |
| DRAINAGE MANHOLE | ⊙ | ⊙ |
| SANITARY MANHOLE | ⊙ | ⊙ |
| ROOF LEADER PIPE | --- | --- |
| FOOTING DRAIN PIPE | --- | --- |





LEGEND

- PROPERTY LINE
- EXISTING ELECTRIC LINE
- PROPOSED ELECTRIC LINE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING TELEPHONE LINE
- PROPOSED TELEPHONE LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED CLEANOUT
- PROPOSED DOUBLE CLEANOUT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING WATER VALVE

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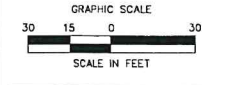
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Revision
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 SITE UTILITIES PLAN
 Scale 1"=30'
 Drawn By HT/RR

C3.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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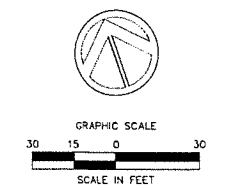
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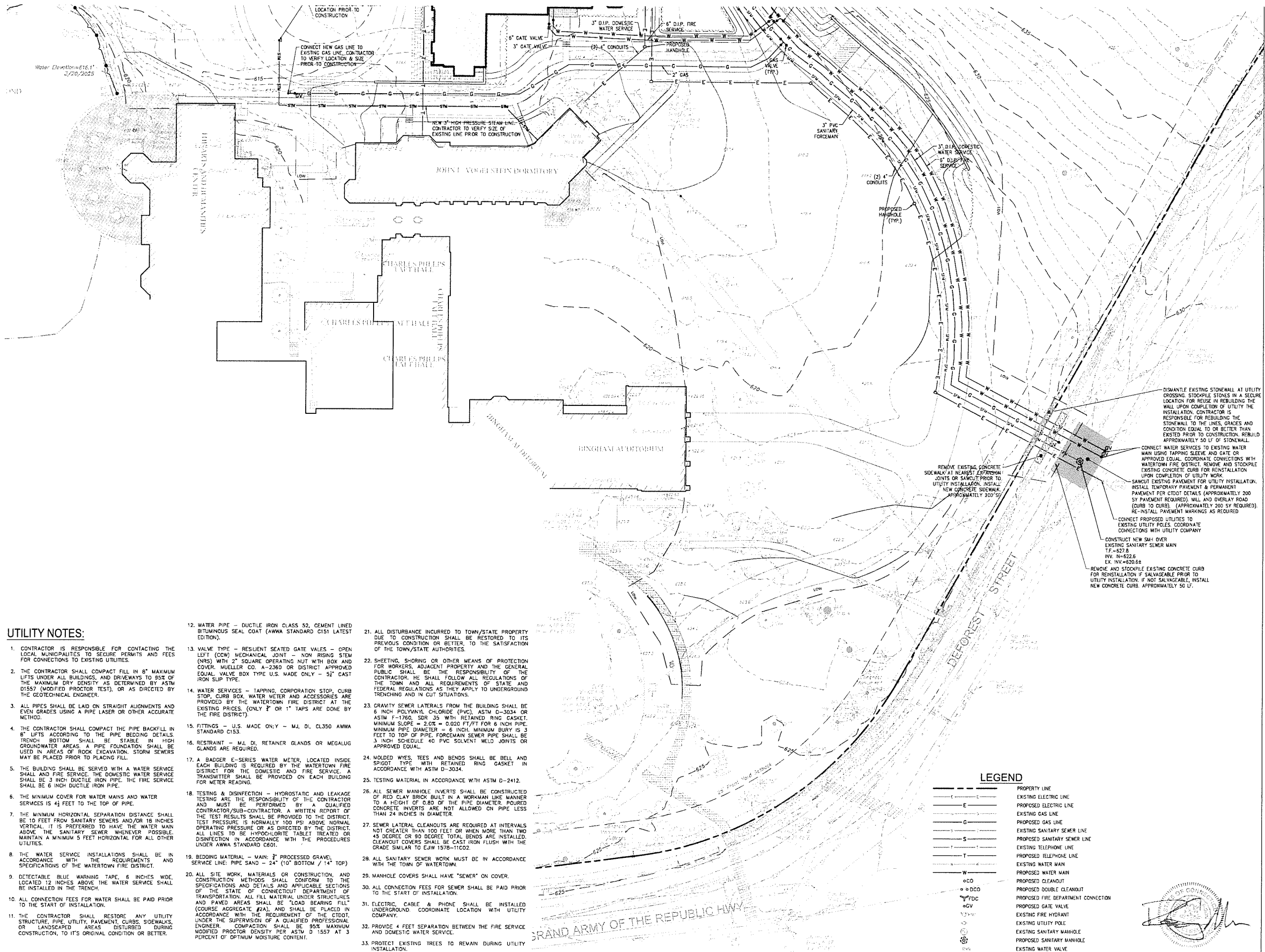


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Revision
 Date: January 21, 2026
 Title: DORM 1 & 2
 Scale: 1"=30'
 Drawn By: HT/RR

C3.2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 6" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 6" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION, STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- THE BUILDING SHALL BE SERVED WITH A WATER SERVICE SHALL AND FIRE SERVICE. THE DOMESTIC WATER SERVICE SHALL BE 3 INCH DUCTILE IRON PIPE. THE FIRE SERVICE SHALL BE 6 INCH DUCTILE IRON PIPE.
- THE MINIMUM COVER FOR WATER MAINS AND WATER SERVICES IS 4 1/2 FEET TO THE TOP OF PIPE.
- THE MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE 10 FEET FROM SANITARY SEWERS AND/OR 18 INCHES VERTICAL. IT IS PREFERRED TO HAVE THE WATER MAIN ABOVE THE SANITARY SEWER WHENEVER POSSIBLE. MAINTAIN A MINIMUM 5 FEET HORIZONTAL FOR ALL OTHER UTILITIES.
- THE WATER SERVICE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATERTOWN FIRE DISTRICT.
- DETECTABLE BLUE WARNING TAPE, 6 INCHES WIDE, LOCATED 12 INCHES ABOVE THE WATER SERVICE SHALL BE INSTALLED IN THE TRENCH.
- ALL CONNECTION FEES FOR WATER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO ITS ORIGINAL CONDITION OR BETTER.

- WATER PIPE - DUCTILE IRON CLASS 52, CEMENT LINED BITUMINOUS SEAL COAT (AWWA STANDARD C151 LATEST EDITION).
- VALVE TYPE - RESILIENT SEATED GATE VALVES - OPEN LEFT (CCW) MECHANICAL JOINT - NON RISING STEM (NRS) WITH 2" SQUARE OPERATING NUT WITH BOX AND COVER. MUELLER CO. A-2360 OR DISTRICT APPROVED EQUAL VALVE BOX TYPE U.S. MADE ONLY - 52" CAST IRON SLIP TYPE.
- WATER SERVICES - TAPPING, CORPORATION STOP, CURB STOP, CURB BOX, WATER METER AND ACCESSORIES ARE PROVIDED BY THE WATERTOWN FIRE DISTRICT AT THE EXISTING PRICES. (ONLY 2" OR 1" TAPS ARE DONE BY THE FIRE DISTRICT).
- FITTINGS - U.S. MADE ONLY - MJ, DI, CL350 AWWA STANDARD C153.
- RESTRAINT - MJ, DI, RETAINER GLANDS OR MEGALUG GLANDS ARE REQUIRED.
- A BADGER E-SERIES WATER METER, LOCATED INSIDE EACH BUILDING IS REQUIRED BY THE WATERTOWN FIRE DISTRICT FOR THE DOMESTIC AND FIRE SERVICE. A TRANSMITTER SHALL BE PROVIDED ON EACH BUILDING FOR METER READING.
- TESTING & DISINFECTION - HYDROSTATIC AND LEAKAGE TESTING ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE PERFORMED BY A QUALIFIED CONTRACTOR/SUB-CONTRACTOR. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE PROVIDED TO THE DISTRICT. TEST PRESSURE IS NORMALLY 100 PSI ABOVE NORMAL OPERATING PRESSURE OR AS DIRECTED BY THE DISTRICT. ALL LINES TO BE HYPOCHLORITE TABLET TREATED OR DISINFECTION IN ACCORDANCE WITH THE PROCEDURES UNDER AWWA STANDARD C601.
- BEDDING MATERIAL - MAIN, 1" PROCESSED GRAVEL SERVICE LINE: PIPE SAND - 24" (10" BOTTOM / 14" TOP)
- ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COURSE AGGREGATE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT. UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.

- ALL DISTURBANCE INCURRED TO TOWN/STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN/STATE AUTHORITIES.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
- GRAVITY SEWER LATERALS FROM THE BUILDING SHALL BE 6 INCH POLYVINYL CHLORIDE (PVC), ASTM D-3034 OR ASTM F-1760, SDR 35 WITH RETAINED RING GASKET. MINIMUM SLOPE = 2.0% = 0.020 FT/FT FOR 6 INCH PIPE. MINIMUM PIPE DIAMETER = 6 INCH. MINIMUM BURY IS 3 FEET TO TOP OF PIPE. FORCEMAIN SEWER PIPE SHALL BE 3 INCH SCHEDULE 40 PVC SOLVENT WELD JOINTS OR APPROVED EQUAL.
- MOLDED WYES, TEES AND BENDS SHALL BE BELL AND SPIGOT TYPE WITH RETAINED RING GASKET IN ACCORDANCE WITH ASTM D-3034.
- TESTING MATERIAL IN ACCORDANCE WITH ASTM D-2412.
- ALL SEWER MANHOLE INVERTS SHALL BE CONSTRUCTED OF RED CLAY BRICK BUILT IN A WORKMAN LIKE MANNER TO A HEIGHT OF 0.80 OF THE PIPE DIAMETER. POURED CONCRETE INVERTS ARE NOT ALLOWED ON PIPE LESS THAN 24 INCHES IN DIAMETER.
- SEWER LATERAL CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 100 FEET OR WHEN MORE THAN TWO 45 DEGREE OR 90 DEGREE TOTAL BENDS ARE INSTALLED. CLEANOUT COVERS SHALL BE CAST IRON FLUSH WITH THE GRADE SIMILAR TO EAW 1578-11002.
- ALL SANITARY SEWER WORK MUST BE IN ACCORDANCE WITH THE TOWN OF WATERTOWN.
- MANHOLE COVERS SHALL HAVE "SEWER" ON COVER.
- ALL CONNECTION FEES FOR SEWER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- ELECTRIC, CABLE & PHONE SHALL BE INSTALLED UNDERGROUND COORDINATE LOCATION WITH UTILITY COMPANY.
- PROVIDE 4 FEET SEPARATION BETWEEN THE FIRE SERVICE AND DOMESTIC WATER SERVICE.
- PROTECT EXISTING TREES TO REMAIN DURING UTILITY INSTALLATION.

LEGEND

| | |
|------|-------------------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING ELECTRIC LINE |
| --- | PROPOSED ELECTRIC LINE |
| --- | EXISTING GAS LINE |
| --- | PROPOSED GAS LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | EXISTING TELEPHONE LINE |
| --- | PROPOSED TELEPHONE LINE |
| --- | EXISTING WATER MAIN |
| --- | PROPOSED WATER MAIN |
| oCO | PROPOSED CLEANOUT |
| oDCO | PROPOSED DOUBLE CLEANOUT |
| oVDC | PROPOSED FIRE DEPARTMENT CONNECTION |
| oV | PROPOSED GATE VALVE |
| oV | EXISTING FIRE HYDRANT |
| oV | EXISTING UTILITY POLE |
| oV | EXISTING SANITARY MANHOLE |
| oV | PROPOSED SANITARY MANHOLE |
| oV | EXISTING WATER VALVE |



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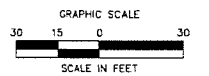
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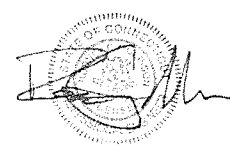
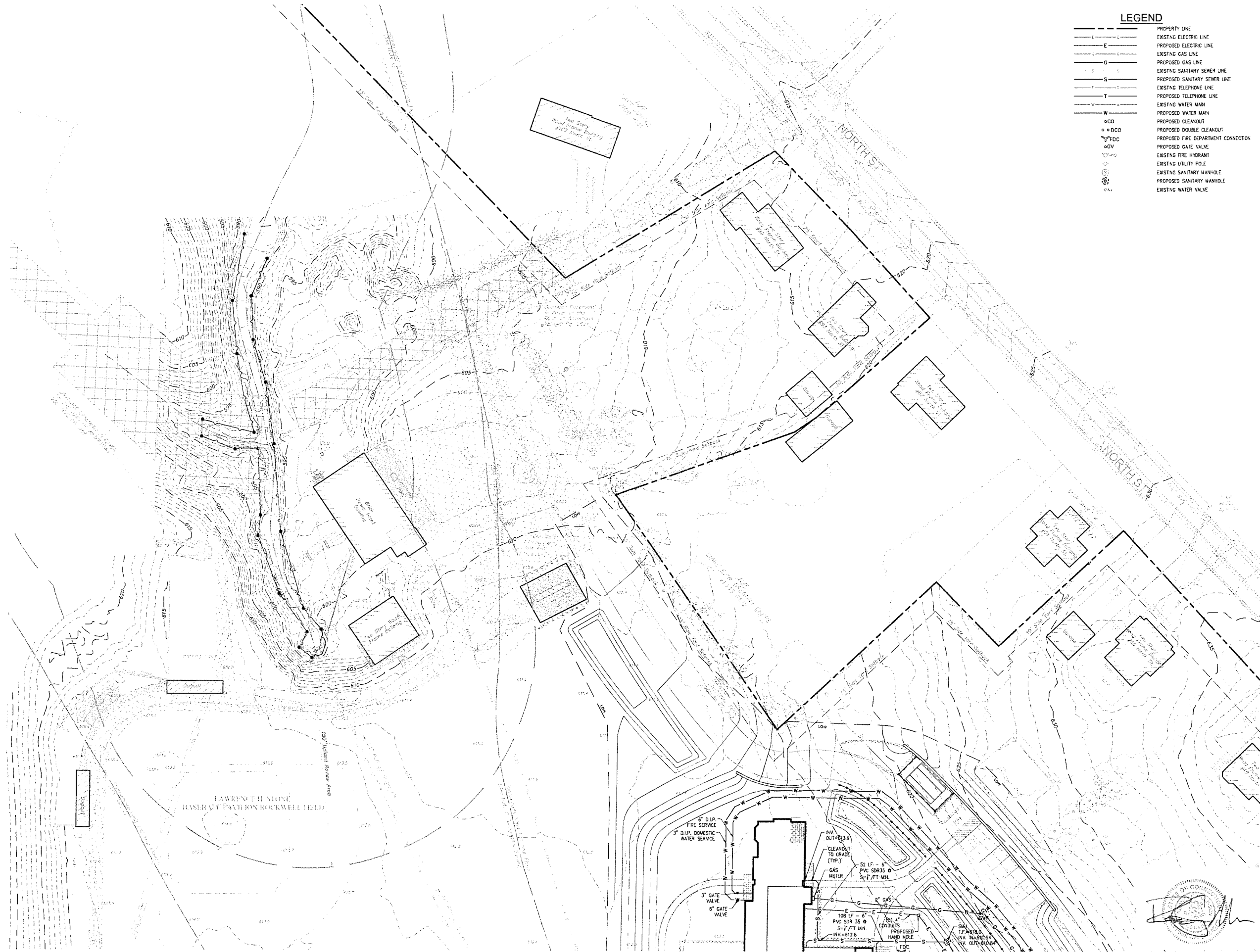
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Revision
 Date: January 21, 2026
 Title: DORM 1 & 2
 Scale: 1"=30'
 Drawn By: HT/RR

C3.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

| LEGEND | |
|--------|-------------------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING ELECTRIC LINE |
| --- | PROPOSED ELECTRIC LINE |
| --- | EXISTING GAS LINE |
| --- | PROPOSED GAS LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | EXISTING TELEPHONE LINE |
| --- | PROPOSED TELEPHONE LINE |
| --- | EXISTING WATER MAIN |
| --- | PROPOSED WATER MAIN |
| ○ | PROPOSED CLEANOUT |
| ○ | PROPOSED DOUBLE CLEANOUT |
| --- | PROPOSED FIRE DEPARTMENT CONNECTION |
| ○ | PROPOSED GATE VALVE |
| ○ | EXISTING FIRE HYDRANT |
| ○ | EXISTING UTILITY POLE |
| ○ | EXISTING SANITARY MANHOLE |
| ○ | PROPOSED SANITARY MANHOLE |
| ○ | EXISTING WATER VALVE |



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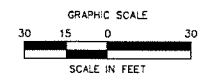
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kohlerroman.com

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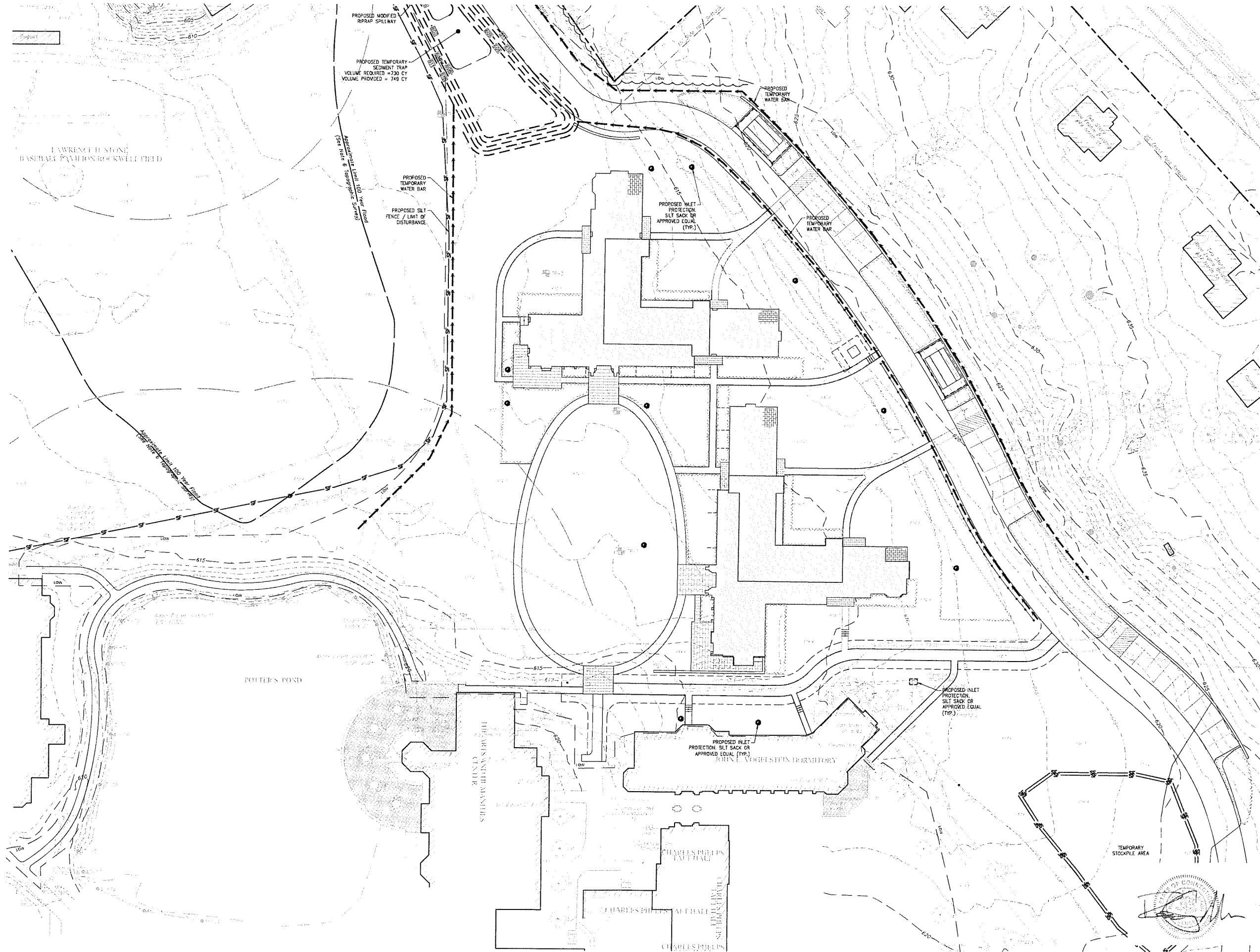


ZONING SUBMISSION
NOT FOR CONSTRUCTION

Revision
Date January 21, 2025
Title DORM 1 & 2 - SEDIMENTATION
& EROSION CONTROL PLAN
Scale 1"=30'
Drawn By HT/RR

C4.1

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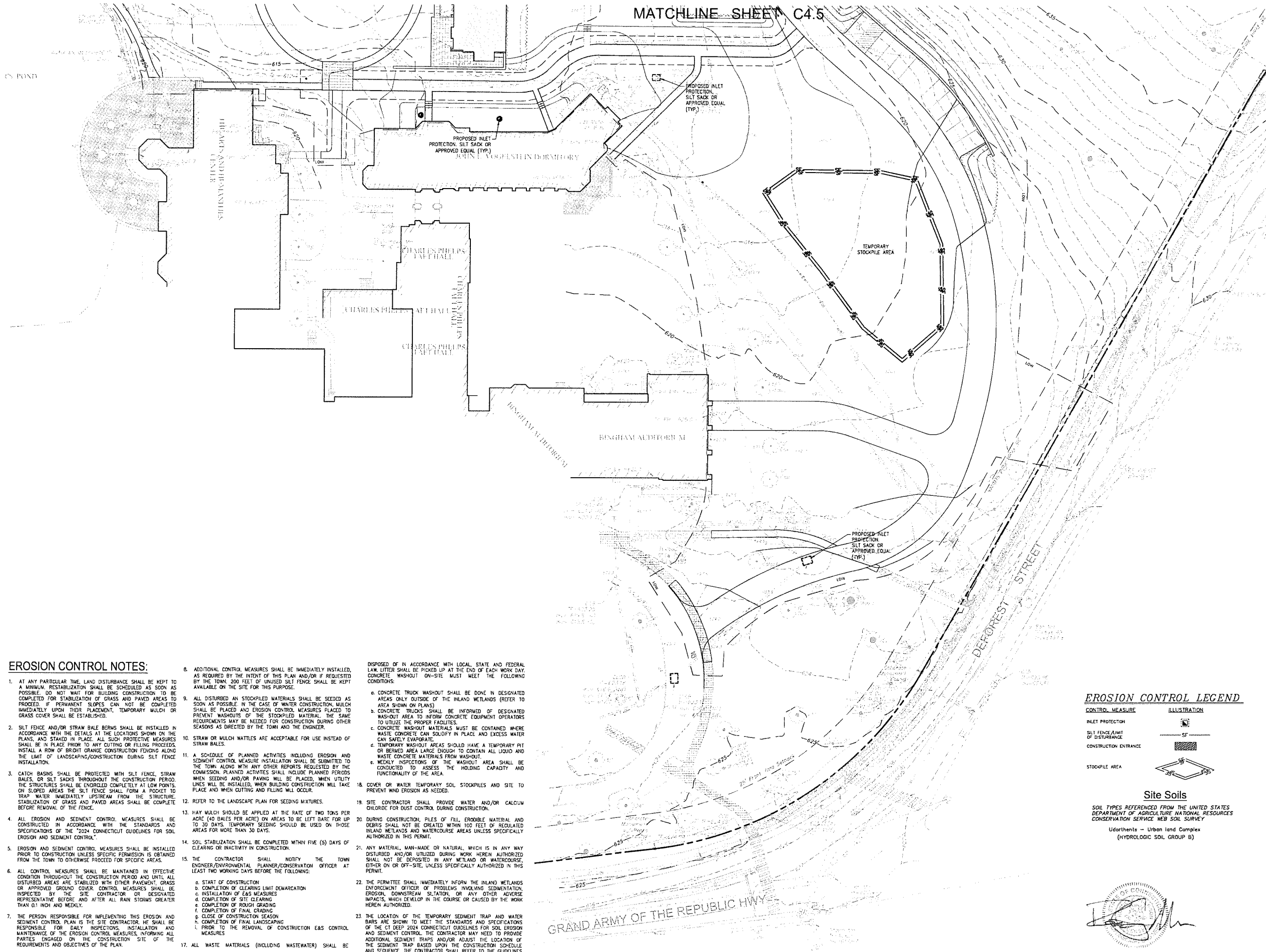
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EROSION CONTROL NOTES:

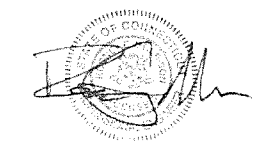
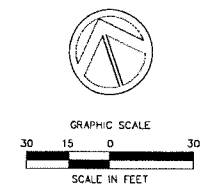
- AT ANY PARTICULAR TIME, LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS POSSIBLE. DO NOT WAIT FOR BUILDING CONSTRUCTION TO BE COMPLETED FOR STABILIZATION OF GRASS AND PAVED AREAS TO PROCEED. IF PERMANENT SLOPES CAN NOT BE COMPLETED IMMEDIATELY UPON THEIR PLACEMENT, TEMPORARY MULCH OR GRASS COVER SHALL BE ESTABLISHED.
- SILT FENCE AND/OR STRAW SHALE BERRIS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AT THE LOCATIONS SHOWN ON THE PLANS, AND STAKED IN PLACE. ALL SUCH PROTECTIVE MEASURES SHALL BE IN PLACE PRIOR TO ANY CUTTING OR FILLING PROCEEDS. INSTALL A ROW OF BRIGHT ORANGE CONSTRUCTION FENCING ALONG THE LIMIT OF LANDSCAPING/CONSTRUCTION DURING SILT FENCE INSTALLATION.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FENCE, STRAW BALES, OR SILT SACKS THROUGHOUT THE CONSTRUCTION PERIOD. THE STRUCTURES SHALL BE ENCLOSED COMPLETELY AT LOW POINTS. ON SLOPED AREAS THE SILT FENCE SHALL FORM A POCKET TO TRAP WATER IMMEDIATELY UPSTREAM FROM THE STRUCTURE. STABILIZATION OF GRASS AND PAVED AREAS SHALL BE COMPLETE BEFORE REMOVAL OF THE FENCE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION UNLESS SPECIFIC PERMISSION IS OBTAINED FROM THE TOWN TO OTHERWISE PROCEED FOR SPECIFIC AREAS.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH EITHER PAVEMENT, GRASS OR APPROVED GROUND COVER. CONTROL MEASURES SHALL BE INSPECTED BY THE SITE CONTRACTOR OR DESIGNATED REPRESENTATIVE BEFORE AND AFTER ALL RAIN STORMS GREATER THAN 0.1 INCH AND WEEKLY.
- THE PERSON RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN IS THE SITE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS, INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.
- ADDITIONAL CONTROL MEASURES SHALL BE IMMEDIATELY INSTALLED, AS REQUIRED BY THE INTENT OF THIS PLAN AND/OR IF REQUESTED BY THE TOWN, 200 FEET OF UNUSED SILT FENCE SHALL BE KEPT AVAILABLE ON THE SITE FOR THIS PURPOSE.
- ALL DISTURBED OR STOCKPILED MATERIALS SHALL BE SEEDED AS SOON AS POSSIBLE. IN THE CASE OF WINTER CONSTRUCTION, MULCH SHALL BE PLACED AND EROSION CONTROL MEASURES PLACED TO PREVENT WASHOUTS OF THE STOCKPILED MATERIAL. THE SAME REQUIREMENTS MAY BE NEEDED FOR CONSTRUCTION DURING OTHER SEASONS AS DIRECTED BY THE TOWN AND THE ENGINEER.
- STRAW OR MULCH WATTLES ARE ACCEPTABLE FOR USE INSTEAD OF STRAW BALES.
- A SCHEDULE OF PLANNED ACTIVITIES INCLUDING EROSION AND SEDIMENT CONTROL MEASURE INSTALLATION SHALL BE SUBMITTED TO THE TOWN ALONG WITH ANY OTHER REPORTS REQUESTED BY THE COMMISSION. PLANNED ACTIVITIES SHALL INCLUDE PLANNED PERIODS WHEN SEEDING AND/OR PAVING WILL BE PLACED, WHEN UTILITY LINES WILL BE INSTALLED, WHEN BUILDING CONSTRUCTION WILL TAKE PLACE AND WHEN CUTTING AND FILLING WILL OCCUR.
- REFER TO THE LANDSCAPE PLAN FOR SEEDING MIXTURES.
- HAY MULCH SHOULD BE APPLIED AT THE RATE OF TWO TONS PER ACRE (40 BALES PER ACRE) ON AREAS TO BE LEFT BARE FOR UP TO 30 DAYS. TEMPORARY SEEDING SHOULD BE USED ON THOSE AREAS FOR MORE THAN 30 DAYS.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER/ENVIRONMENTAL PLANNER/CONSERVATION OFFICER AT LEAST TWO WORKING DAYS BEFORE THE FOLLOWING:
 - START OF CONSTRUCTION
 - COMPLETION OF CLEARING LIMIT DEMARCATION
 - INSTALLATION OF E&S MEASURES
 - COMPLETION OF SITE CLEARING
 - COMPLETION OF ROUGH GRADING
 - COMPLETION OF FINAL GRADING
 - CLOSE OF CONSTRUCTION SEASON
 - COMPLETION OF FINAL LANDSCAPING
- ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE

- DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY. CONCRETE WASHOUT ON-SITE MUST MEET THE FOLLOWING CONDITIONS:
- CONCRETE TRUCK WASHOUT SHALL BE DONE IN DESIGNATED AREAS ONLY OUTSIDE OF THE INLAND WETLANDS (REFER TO AREA SHOWN ON PLANS)
 - CONCRETE TRUCKS SHALL BE INFORMED OF DESIGNATED WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 - CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
 - TEMPORARY WASHOUT AREAS SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
 - REGULAR INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
- COVER OR WATER TEMPORARY SOIL STOCKPILES AND SITE TO PREVENT WIND EROSION AS NEEDED.
 - SITE CONTRACTOR SHALL PROVIDE WATER AND/OR CALCIUM CHLORIDE FOR DUST CONTROL DURING CONSTRUCTION.
 - DURING CONSTRUCTION, PILES OF FILL, ERODIBLE MATERIAL AND DEBRIS SHALL NOT BE CREATED WITHIN 100 FEET OF REGULATED INLAND WETLANDS AND WATERCOURSE AREAS UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
 - ANY MATERIAL, MAN-MADE OR NATURAL, WHICH IS IN ANY WAY DISTURBED AND/OR UTILIZED DURING WORK HEREIN AUTHORIZED SHALL NOT BE DEPOSITED IN ANY WETLAND OR WATERCOURSE, EITHER ON OR OFF-SITE, UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
 - THE PERMITTEE SHALL IMMEDIATELY INFORM THE INLAND WETLANDS ENFORCEMENT OFFICER OF PROBLEMS INVOLVING SEDIMENTATION, EROSION, DOWNSTREAM SEASONAL OR ANY OTHER ADVERSE IMPACTS, WHICH DEVELOP IN THE COURSE OF OR CAUSED BY THE WORK HEREIN AUTHORIZED.
 - THE LOCATION OF THE TEMPORARY SEDIMENT TRAP AND WATER BARS ARE SHOWN TO MEET THE STANDARDS AND SPECIFICATIONS OF THE CT DEEP ZONE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. THE CONTRACTOR MAY NEED TO PROVIDE ADDITIONAL SEDIMENT TRAPS AND/OR ADJUST THE LOCATION OF THE SEDIMENT TRAP BASED UPON THE CONSTRUCTION SCHEDULE AND SEQUENCE. THE CONTRACTOR SHALL REFER TO THE GUIDELINES FOR GUIDANCE.

EROSION CONTROL LEGEND

| CONTROL MEASURE | ILLUSTRATION |
|---------------------------------|--------------|
| INLET PROTECTION | |
| SILT FENCE/LIMIT OF DISTURBANCE | |
| CONSTRUCTION ENTRANCE | |
| STOCKPILE AREA | |

Site Soils
SOIL TYPES REFERENCED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY
Udorthents - Urban land Complex
(HYDROLOGIC SOIL GROUP B)



C4.2

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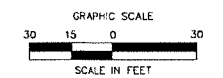
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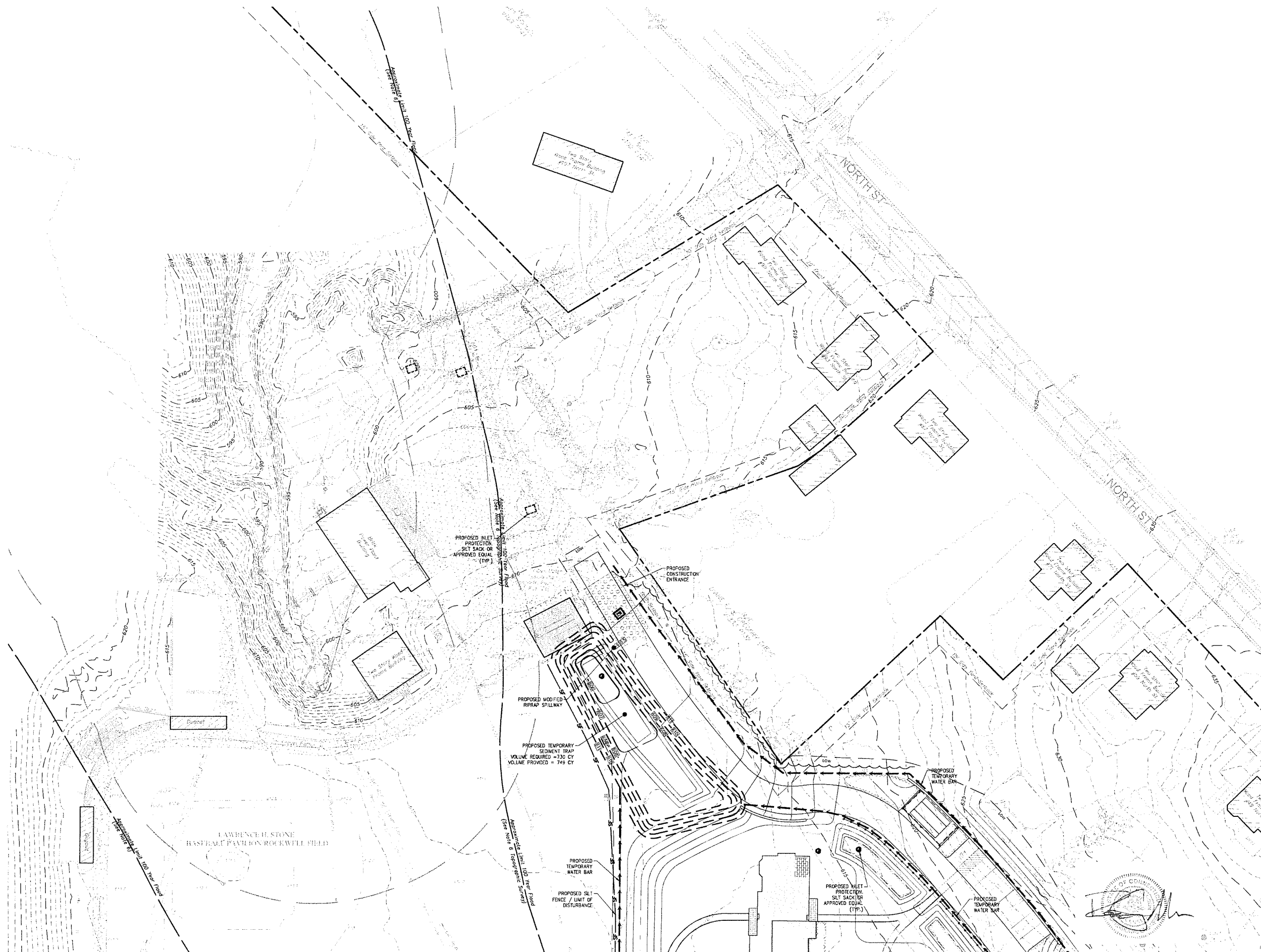
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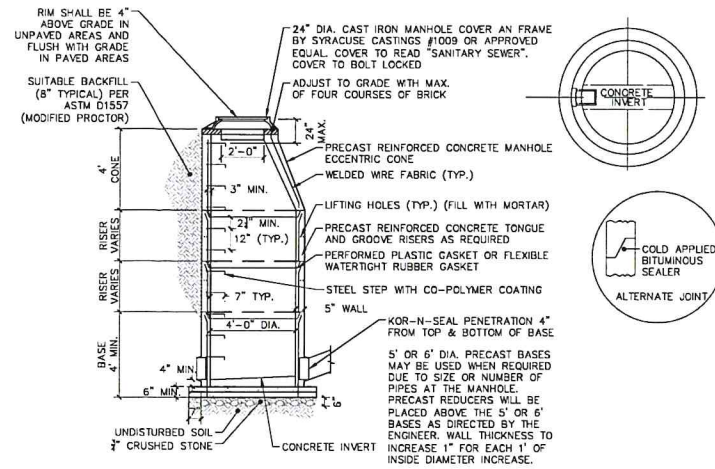


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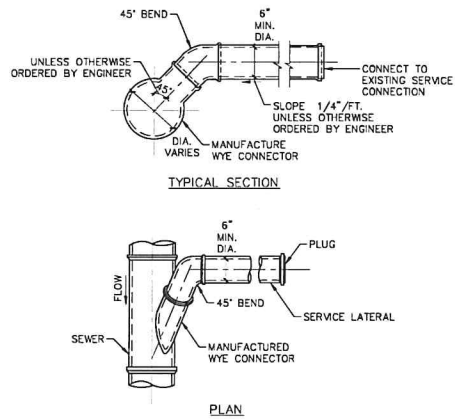
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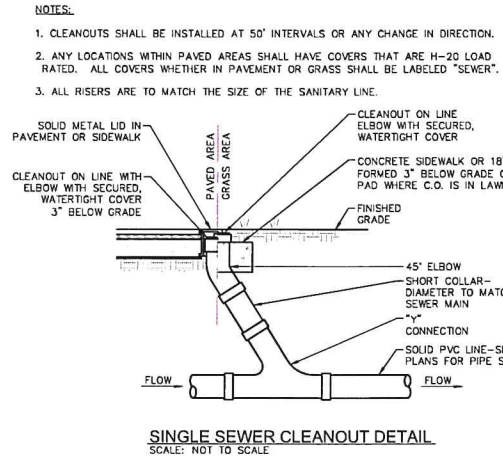




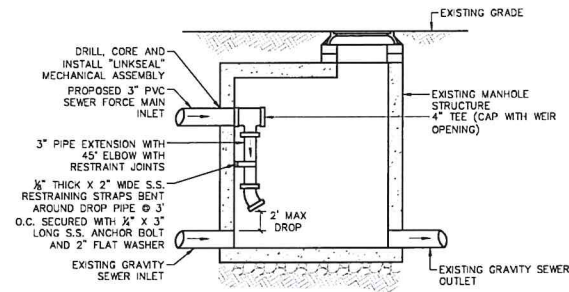
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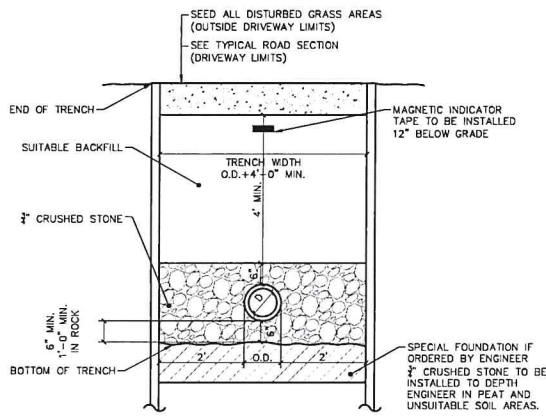
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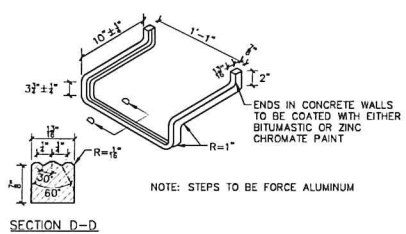
SINGLE SEWER CLEANOUT DETAIL
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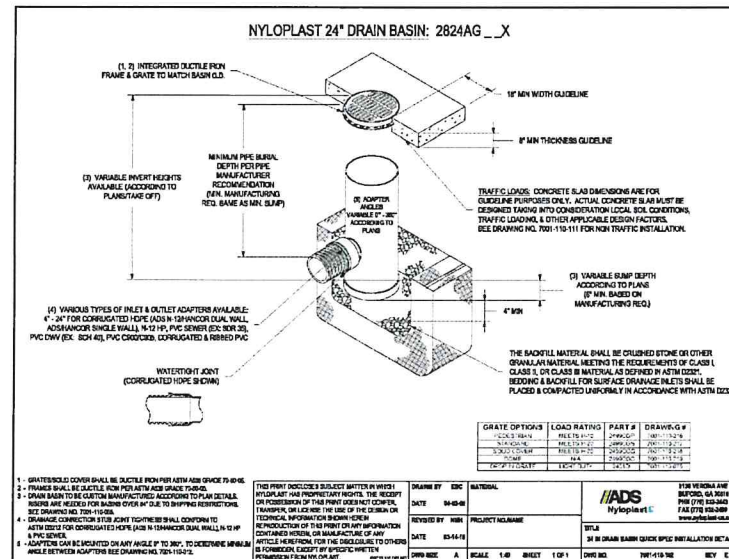
PROPOSED FORCE MAIN TO EXISTING GRAVITY SEWER MANHOLE CONNECTION DETAIL
NOT TO SCALE



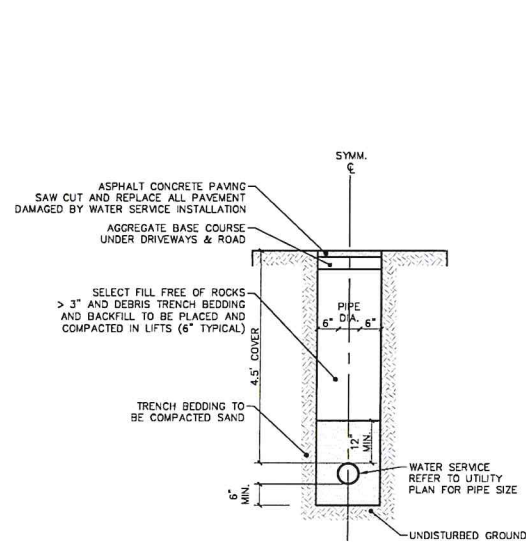
SANITARY SEWER TRENCH DETAIL
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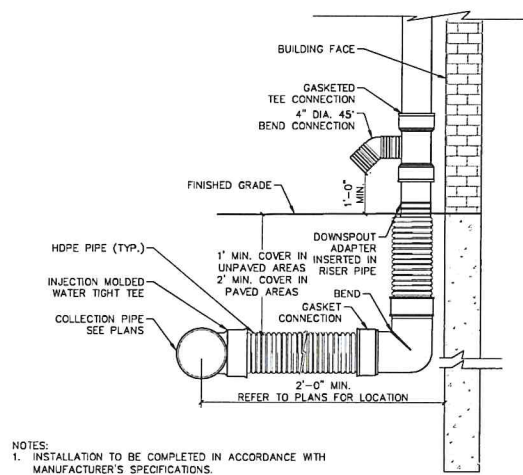
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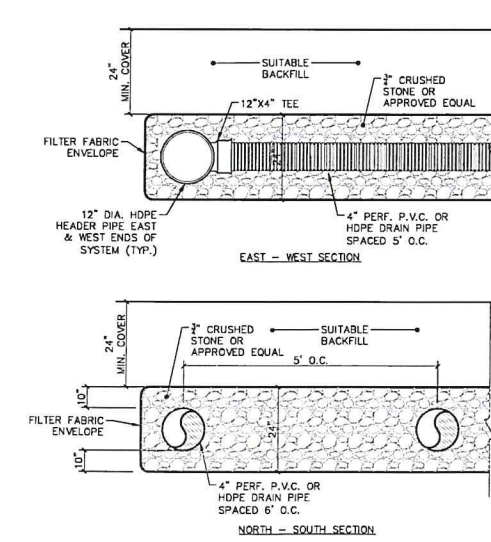
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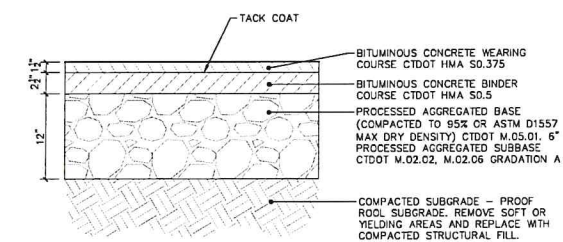
WATER SERVICE TRENCH DETAIL
SCALE: NOT TO SCALE



ROOF LEADER COLLECTION PIPE OVERFLOW DETAIL
NOT TO SCALE



UNDERGROUND STORMWATER MANAGEMENT AREA DRAINAGE DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE ACCESS DRIVE DETAIL
NOT TO SCALE



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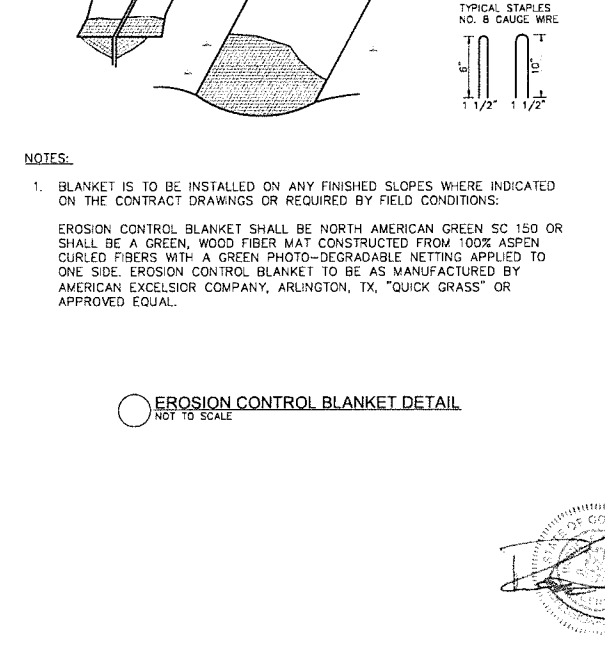
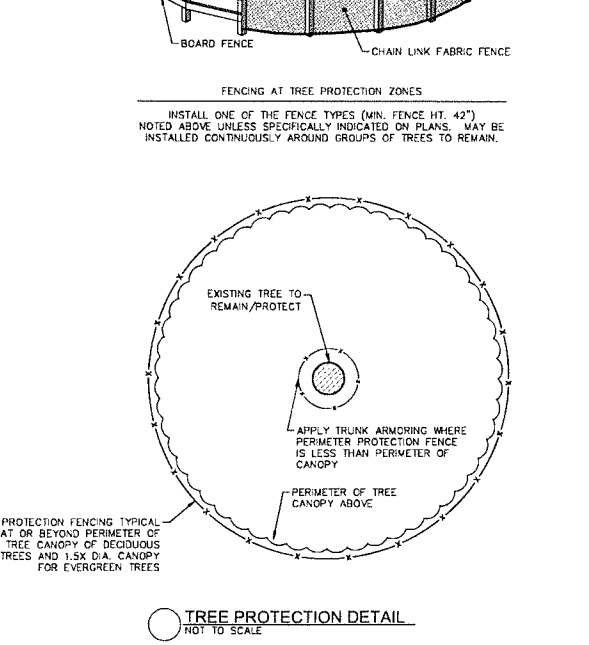
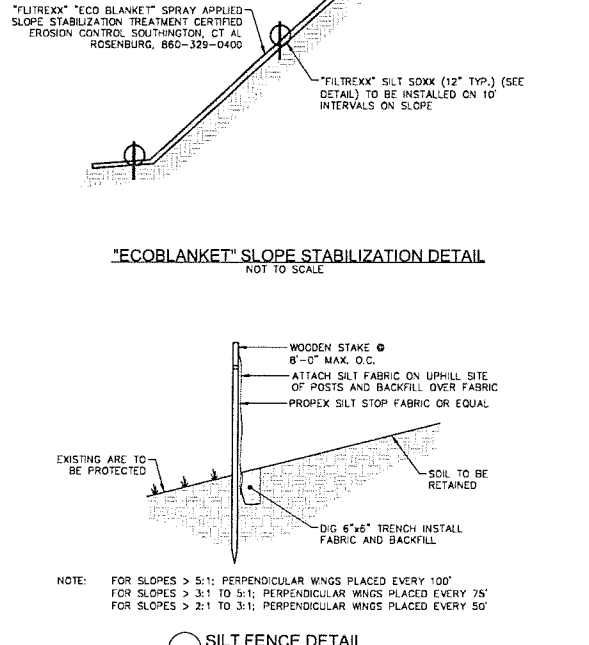
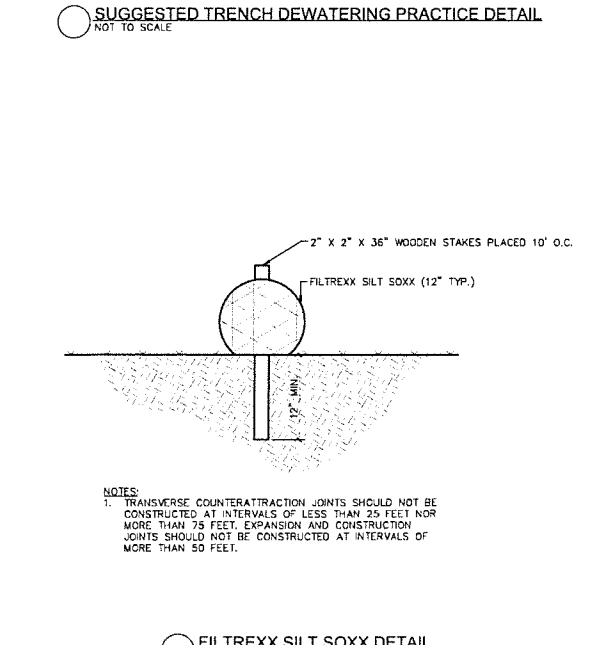
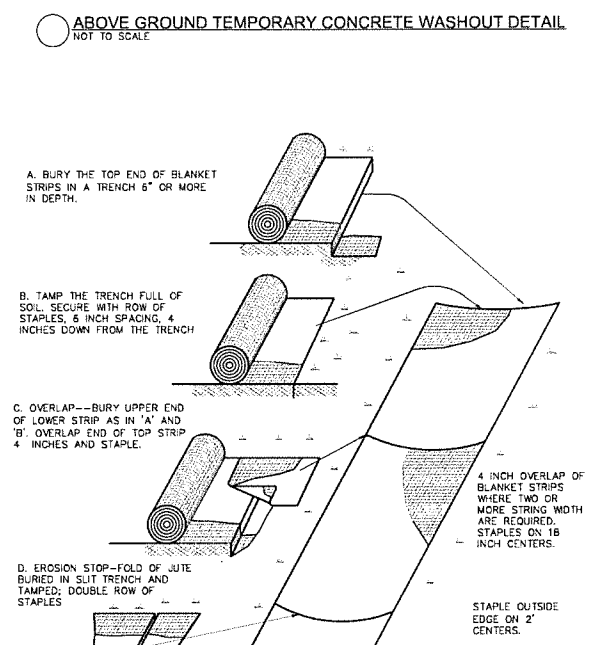
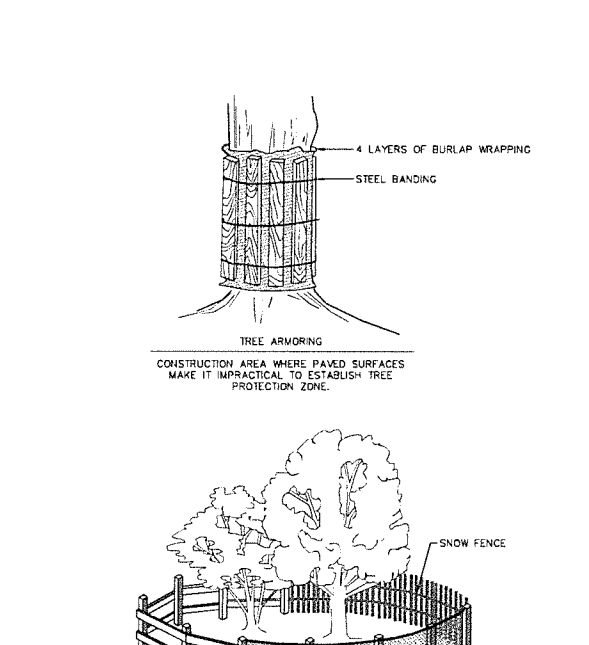
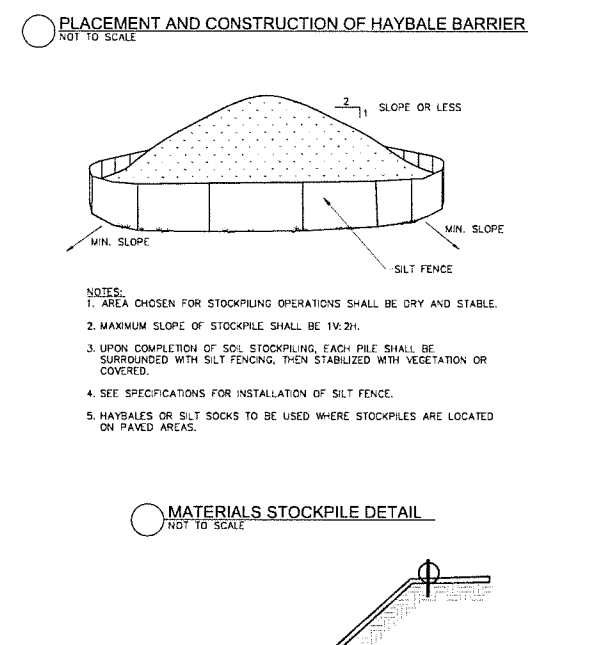
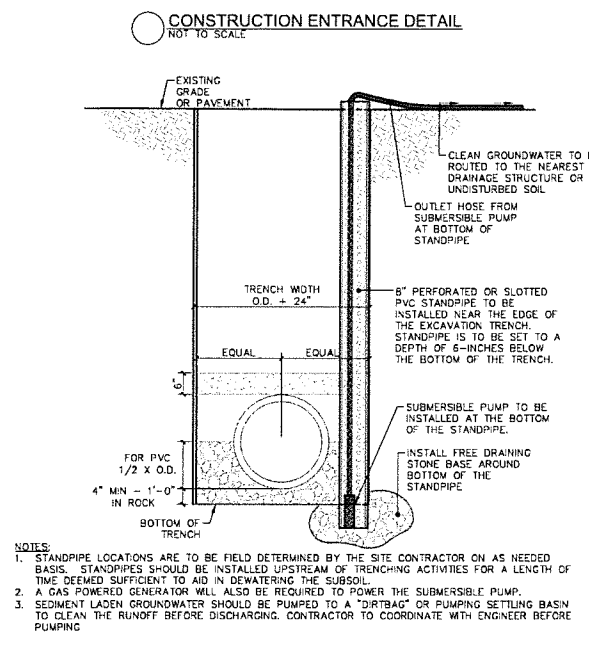
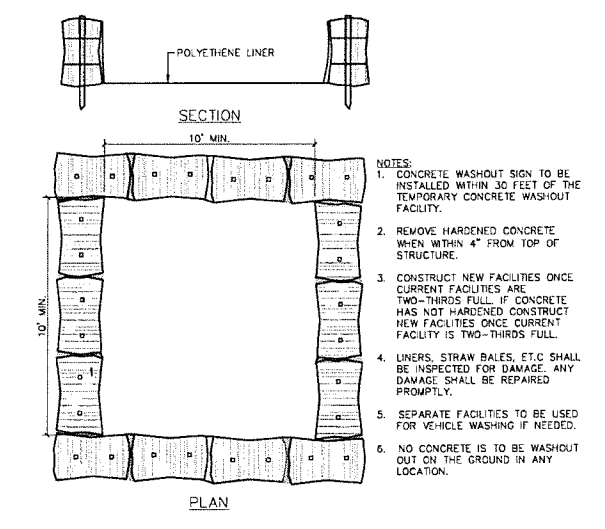
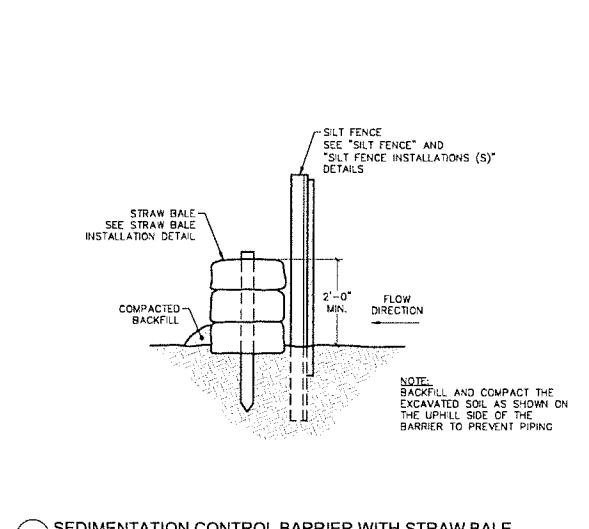
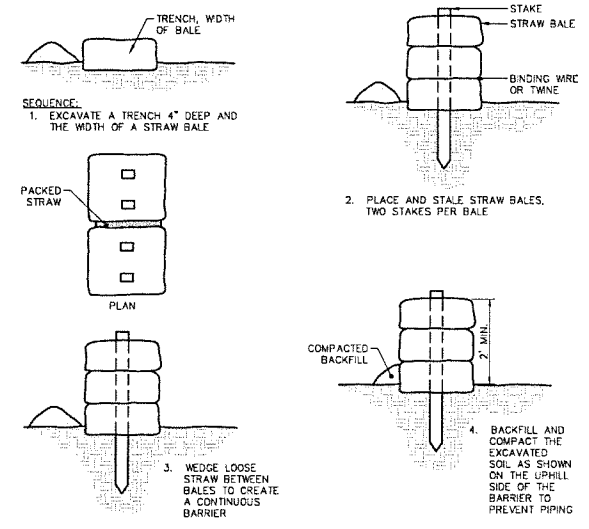
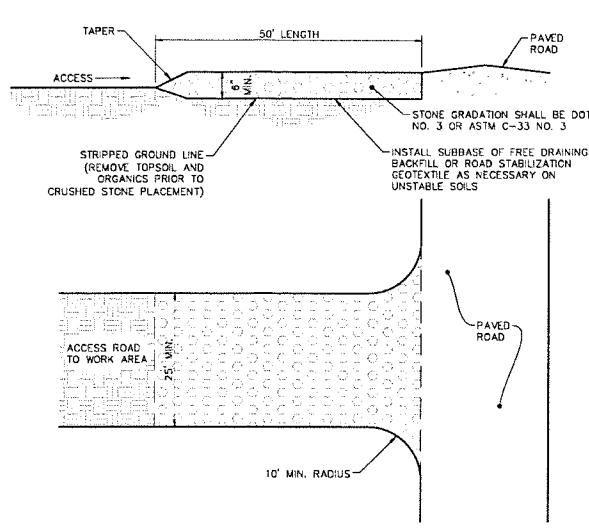
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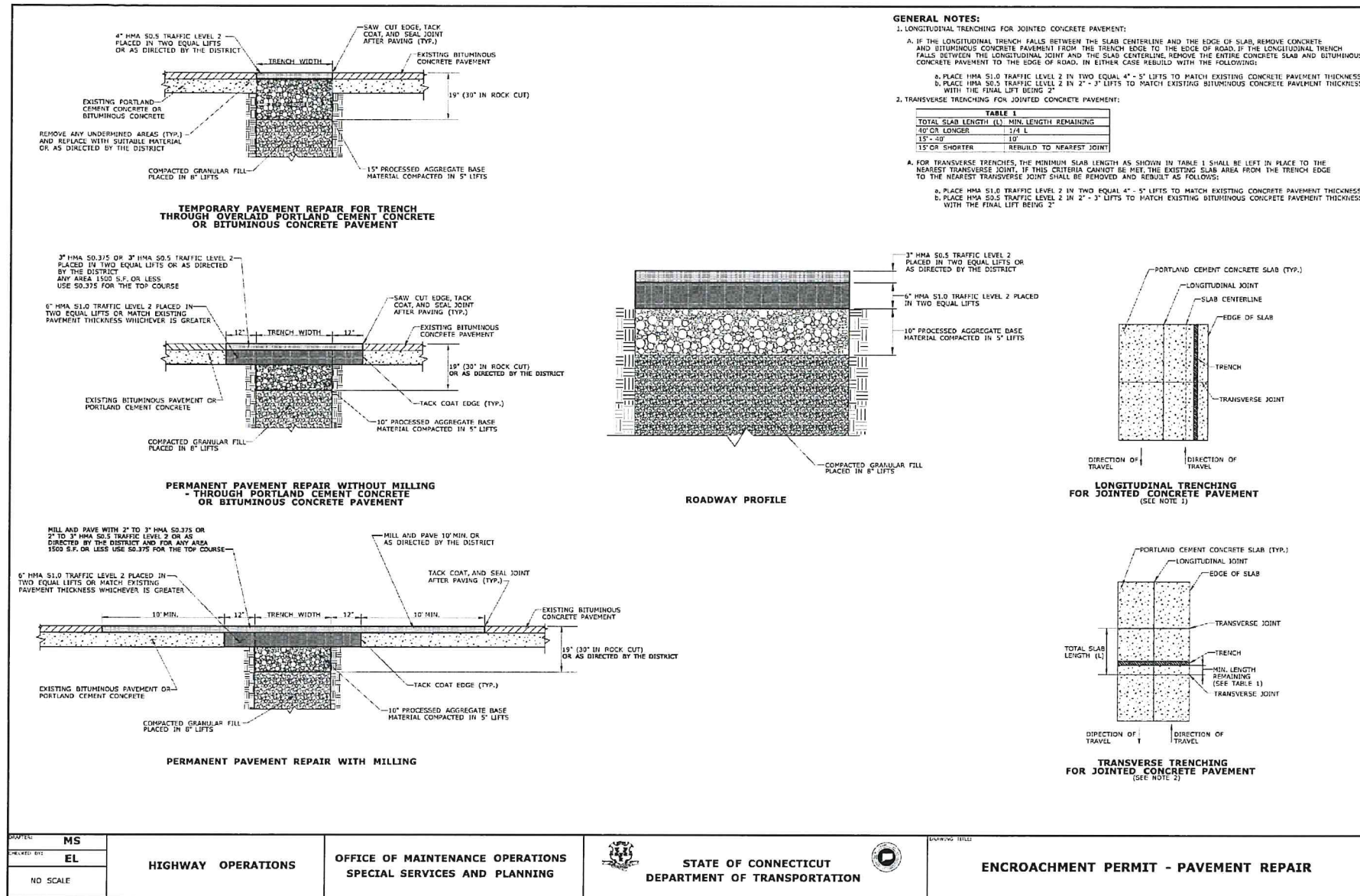
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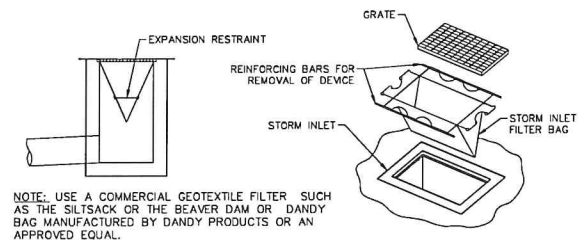
C5.2
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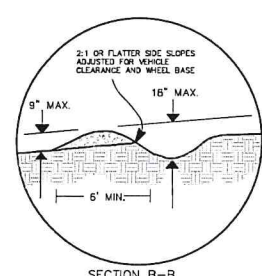
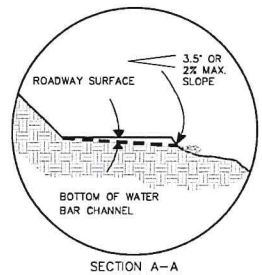
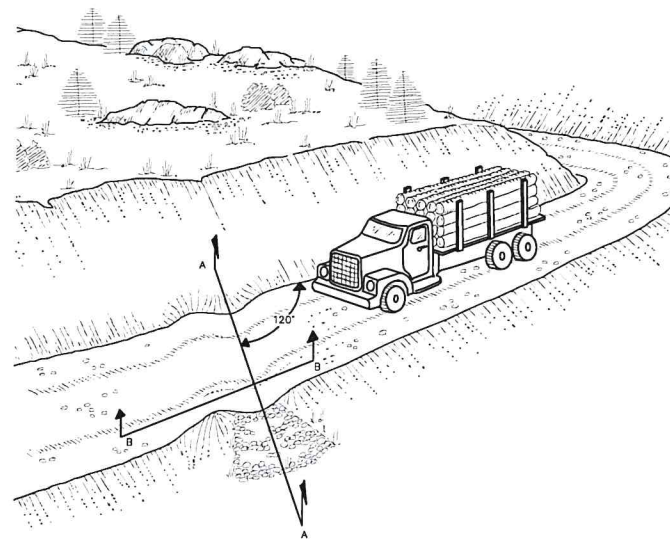
UTILITY INSTALLATIONS UNDER ENCROACHMENT PERMITS

Work performed within the Connecticut Department of Transportation's right-of-way paved roadway should be in compliance with the Standard Specifications for Roads, Bridges, Facilities and Incidental Construction; including all supplements and revisions, Encroachment Permit-Pavement Repair Drawing and other applicable standards.

| | |
|---|---|
| Bituminous Concrete: Section 4.06 | 3" HMA 50.5 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR |
| | 6" HMA 51.0 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR MATCH EXISTING PAVEMENT OR PORTLAND CEMENT CONCRETE THICKNESS, WHICHEVER IS GREATER <i>Minimum of 92% Compaction</i> |
| Processed Aggregate Base: Section 3.04 Spec. M.05.01 | 10" PROCESSED AGGREGATE BASE MATERIAL COMPACTED IN 5" LIFTS <i>Minimum of 95% Compaction</i> |
| Compacted Granular Fill: Section 2.14 Spec. M.02.02 | PLACE IN 8" LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR <i>Minimum of 95% Compaction</i> |
| Bedding Material: Spec. M.08.03 | Apex 1 foot of Bedding Cover |
| | Bedding MAIN Bedding/Stone |



SILT SACK DETAIL NOT TO SCALE



WATER BAR DETAIL NOT TO SCALE

| | | | | |
|-------------|--------------------|---|--|---------------------------------------|
| PROJECT: MS | HIGHWAY OPERATIONS | OFFICE OF MAINTENANCE OPERATIONS SPECIAL SERVICES AND PLANNING | STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION | ENCROACHMENT PERMIT - PAVEMENT REPAIR |
| SCALE: EL | | | | |
| NO SCALE | | | | |

Student Dormitory
The Taft School
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CIVIL ENGINEER
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phone (860) 635-2877
lrconsult.com

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nvs.com

LIGHTING DESIGN
O'Donoghue Lighting
1816 S. 2nd Street
Philadelphia, PA 19148
phone (215) 516-4788

ZONING SUBMISSION
NOT FOR CONSTRUCTION
Revision
Date: January 21, 2026
Title: DORM 1 & 2 -
CONSTRUCTION DETAILS
Scale: AS NOTED
Drawn By: HT/RR



C5.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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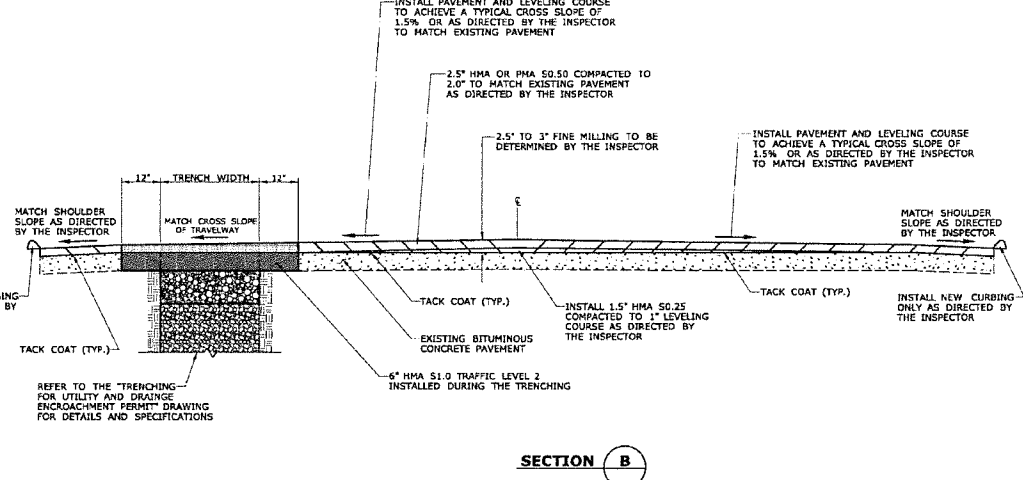
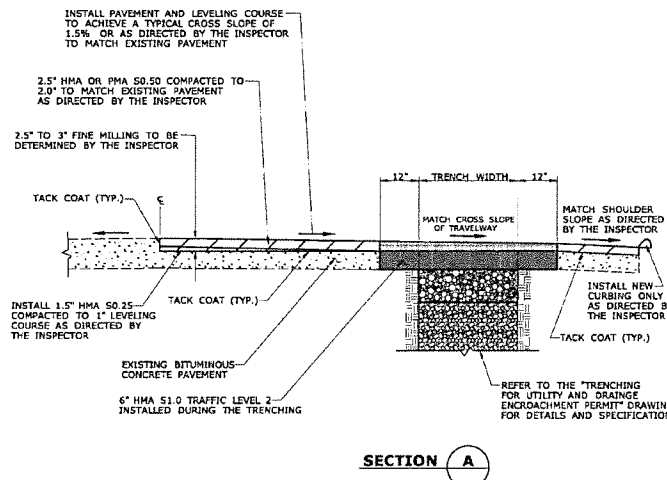
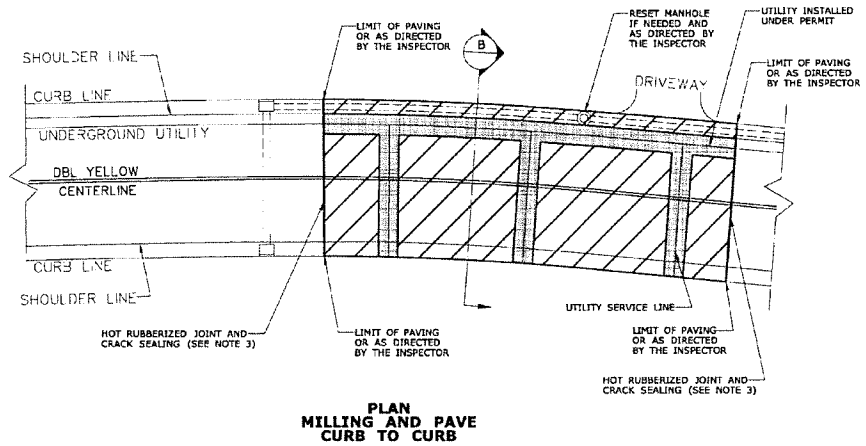
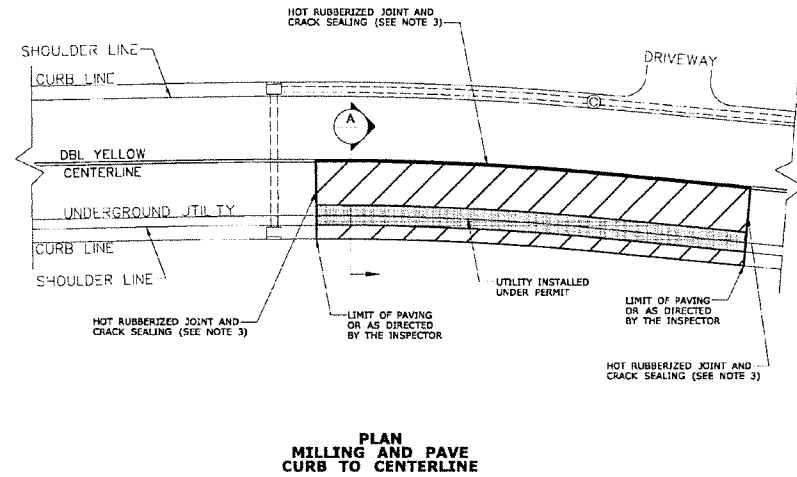
ZONING SUBMISSION
NOT FOR CONSTRUCTION
Revision
Date January 21, 2026
Title DORM 1 & 2 - CONSTRUCTION DETAILS
Scale AS NOTED
Drawn By HT/RR

C5.4

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

GENERAL NOTES:

- FOR SUPERELEVATED SECTIONS OF ROADWAY LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
- FOR SHORT RUNS OF TRENCHING, LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
- HOT RUBBERIZED JOINT AND CRACK SEALING SHALL BE USED TO SEAL JOINTS AND SHALL BE APPLIED TO ALL JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION SO AS TO PROVIDE A UNIFORM COVERAGE AND AVOID EXCESS BLEEDING ONTO THE NEWLY PLACED PAVEMENT.
- THE TOP FINISHED COURSE SHALL NOT VARY MORE THAN 1/4" ON SURROUNDING PAVEMENT SURFACES AND STRUCTURES OR AS OTHERWISE DIRECTED AND ACCEPTED BY THE PERMIT INSPECTOR.



| | | | | | |
|------------------------|---------------------------|---|--|--|---|
| DESIGNED BY: MS | HIGHWAY OPERATIONS | OFFICE OF MAINTENANCE OPERATIONS | | STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION | ENCROACHMENT PERMIT - CURB TO CURB PAVEMENT MILLING AND PAVING |
| CHECKED BY: GS | | | | | |
| NO SCALE | | | | | |

1.0 POST CONSTRUCTION INSPECTION & MAINTENANCE

Post-construction, regularly scheduled inspections and maintenance will be necessary to ensure the permanent structural features such as the stormwater management area, rain gardens and the stormwater conveyance system components remain optimally functional and continue to reduce the risk of sediment loading of inland wetlands and surface water bodies.

When construction is complete, the Contractor will remain responsible for the site until the entire site has reached final stabilization. The site is considered stabilized when all soil disturbing activities have been completed and a full uniform, perennial vegetative cover has been established or equivalent stabilization measures such as the use of mulches or geotextiles have been employed on all unpaved areas and areas not covered by permanent structures. Weekly inspections should continue until the site has reached this point. Additionally, visual inspections should be performed after every rain event of 0.5 inches or more in 24-hours for the lifetime of the permanent stormwater control measures.

At the time of final stabilization, the Owner's Engineer shall perform a final inspection of the site and certify that the site has successfully undergone final stabilization using either vegetative or structural stabilization methods and that all temporary erosion and sediment controls such as silt fence, not needed for long term use, have been removed. At this point, the Owner is responsible for the following:

- The project construction shall disturb between one and five acres and adhere to the erosion and sediment control best use regulations of the municipality in which the construction activity is conducted. No registration to CTDEP is required provided that a land use commission of the municipality reviews and issues a written approval.
- Identify all the permanent stormwater management structures that have been constructed. Land Owner shall familiarize himself with the maintenance requirements for the stormwater management area and the stormwater conveyance system components included herein.
- Certify that the permanent structures have been constructed in accordance with the approved plans

and manufacturer's recommendations and requirements.

The Land Owner shall overtake responsibility of inspecting and maintaining drainage and erosion control features over the lifetime of the structures. Maintenance personnel, employed by the Land Owner, must be aware of the operation and maintenance of the stormwater conveyance system and should be trained to recognize signs that stabilization measures may not be performing optimally or are failing. The inspection of on-site stabilization measures will become part of routine preventative maintenance practiced by the Land Owner. Inspections should be performed after rain events of 0.5 inches or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and at a minimum of twice per year (April 1st and Nov 1st). Inspections and maintenance should be performed as described below within this section.

1.1 Inspection

Overall Site Inspection

- The overall site, embankments, vegetation and stormwater conveyance system components including stormwater management area, outlet structure, outlet pipes, catch basin sumps, rain gardens, culverts and swales should be inspected after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov 1st). The inspections should include but are not limited to:
 - Density and condition of vegetation and ground cover.
 - Erosion, differential settlement or cracking of embankment.
 - Bulging or sliding of toe of embankments.
 - Sedimentation of on-site or downstream water bodies.
 - Sedimentation of culverts or swales.
 - Sedimentation of lawn areas, paved areas, or catch basin sumps. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
 - Damage or fatigue of storm sewer structures or associated components.
 - Accumulation of sediment and debris at paved

catch basin grates. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Hooded outlets shall be visually inspected for damage. Repair or replace as necessary.

1.2 Maintenance

Overall Site Maintenance

- Maintaining vegetative and structural measures for soil protection is necessary to keep the storm water conveyance system functioning properly. Maintenance should occur after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov 1st), and should include but is not limited to:
- Vegetated areas should be maintained to promote vigorous and dense growth. Lawn areas should be mowed at least three times a year but may require more frequent mowings depending on the growth rate.
 - Accumulation of litter and debris should be removed during each mowing or sweep operation. Parking Area and Access Drive Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
 - Structural components of the storm sewer system such as culverts (including sumps) which require repair or replacement should be addressed immediately following identification. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Outlet control structures shall be inspected annually between May 1st and September 15th. Debris and sediment within the structures shall be removed annually.

Swale and drainageway maintenance will include periodic mowing, occasional spot reseeding and weed control. Weeds and woody plants should be eradicated or cut back since they reduce the efficiency of the drainageway.

Winter Maintenance

- Remove snow and ice from catch basin grates and rain openings.
- Snow removed from paved areas should not be piled at rain gardens or on the catch basin grates.
- Use of deicing materials should be limited to sand and environmentally friendly chemical products. Use of sand environmentally friendly products should be kept to a minimum. Environmentally friendly products shall consist of calcium magnesium acetate, calcium chloride or magnesium chloride.
- Sand used for deicing should be clean, coarse material free of fines, silt, and clay.
- Materials used for deicing should be removed during the early spring by sweeping and/or vacuuming. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.

CONSTRUCTION TIME SCHEDULE

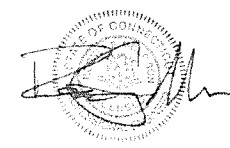
- The construction of the proposed site improvements required on the lot will take approximately 12 months to complete. Start construction as soon as possible (Summer 2026).
- All erosion control measures shall be in place and inspected prior to start of construction.
- STOCKPILE AREAS: Loom and fill stockpile areas shall be seeded per the temporary seeding schedule as soon as possible with minimal disturbance after that time, until the material is required for final installation. All areas of the site not finished graded shall be seeded per the temporary seeding schedule.

CONSTRUCTION SEQUENCE

- Contact the Town of Watertown at least 48 hours prior to commencement of construction activities.
- Clear and grub the area for building, access drive and parking area construction. Stockpile topsoil.
- Install construction entrance.
- Install silt fence around perimeter of the project, limit of disturbance.
- Stockpile topsoil to re-use in final landscaping.
- Install double row of silt fence around stockpile areas.
- Construct temporary sediment trap and water bars for use during construction.
- Begin site grading. Construct Rain Gardens and install proposed storm drainage.
- Begin site grading for the construction of the buildings.
- Begin construction of the retaining walls.
- Begin construction of buildings, access drive, parking area and quad area storm drainage.
- Install proposed utilities, septic system & well.
- Install bituminous concrete binder course, concrete and bituminous concrete curb.
- Install guiderail.
- Place topsoil, seed, fertilizer and mulch in accordance with the permanent seeding schedule on all disturbed areas. Install landscaping.
- Install pavement markings and signage.
- Erosion and sediment control measures shall be removed following stabilization of the site.

WETLANDS APPLICATION DATA

- The project consists of the construction of a two residential dorm buildings, parking areas, access drive, site lighting, storm drainage, utilities and landscaping for the campus.
- The drainage system consists of yard drains, pipes, an underground stormwater management system for the roof water runoff and an excavated stormwater management area for parking area and access drive runoff. The systems are designed to accommodate the increase in runoff from the proposed development due to the change in surface coverage (grass to impervious or woods to impervious). The systems are designed to attenuate the proposed stormwater runoff to resemble the predevelopment flow characteristics for all of the storms analyzed (2, 10, 25 and 100 year).
- The wetlands were delineated by David Lord and field located by Land Resource Consultants Engineering & Engineering LLC.
- The project area contains approximately 6.37 acres of land. An area of inland wetlands exists adjacent to the project area (existing pond) equals 41,242 square feet (0.95 acres). The upland review area disturbance for the proposed site grading and the construction of a walking path equals 32,615 square feet (0.75 acres).





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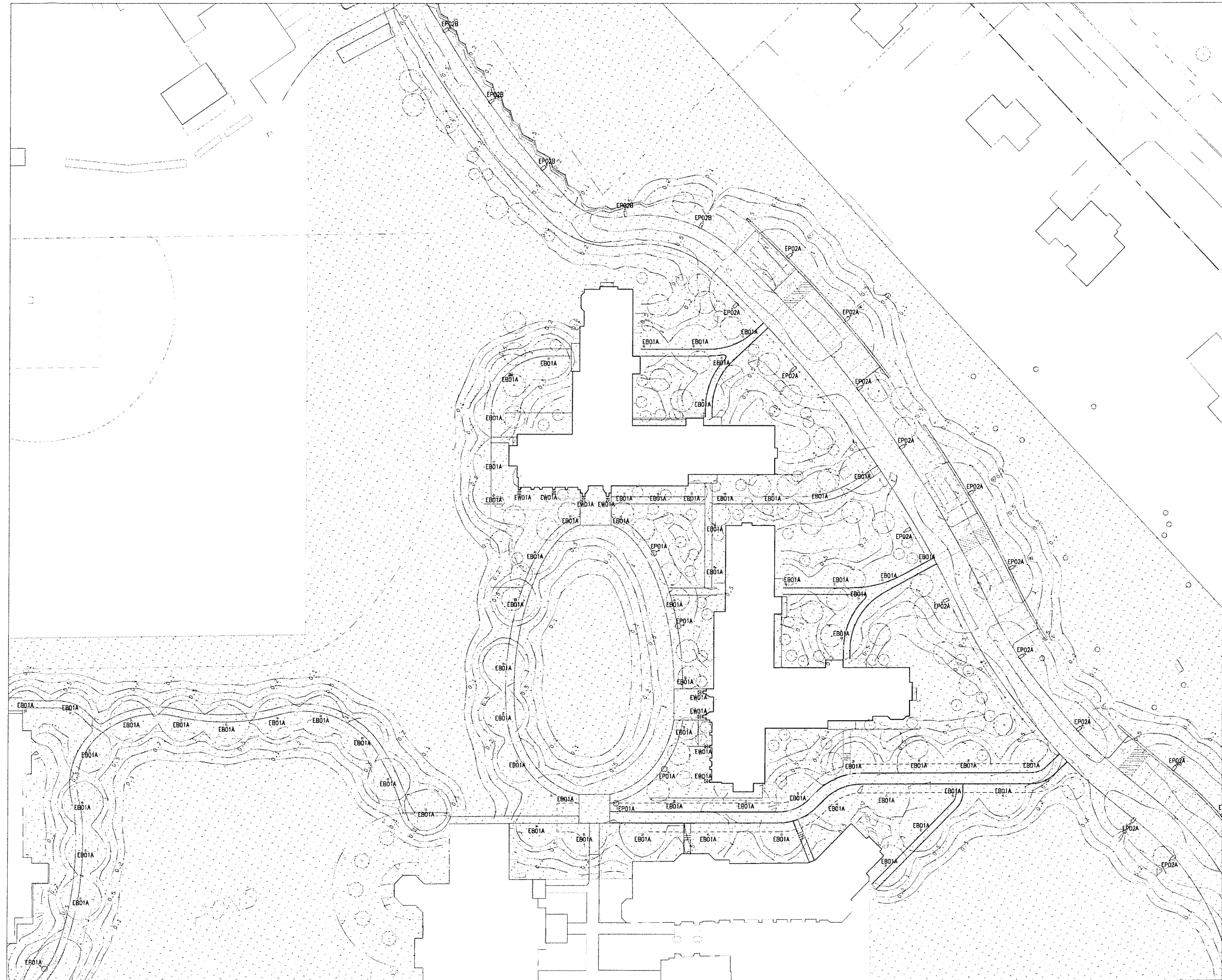
**REVISION SUBMISSION
NOT FOR CONSTRUCTION**

| Revision | Date | Title |
|----------|------------------|--------------------|
| | January 21, 2026 | Site Lighting Plan |

Scale 1" = 60'-0"
Drawn By JOD

LI-1.0

Contractor is to verify all dimensions in field and inform Architect of any discrepancies before starting work.



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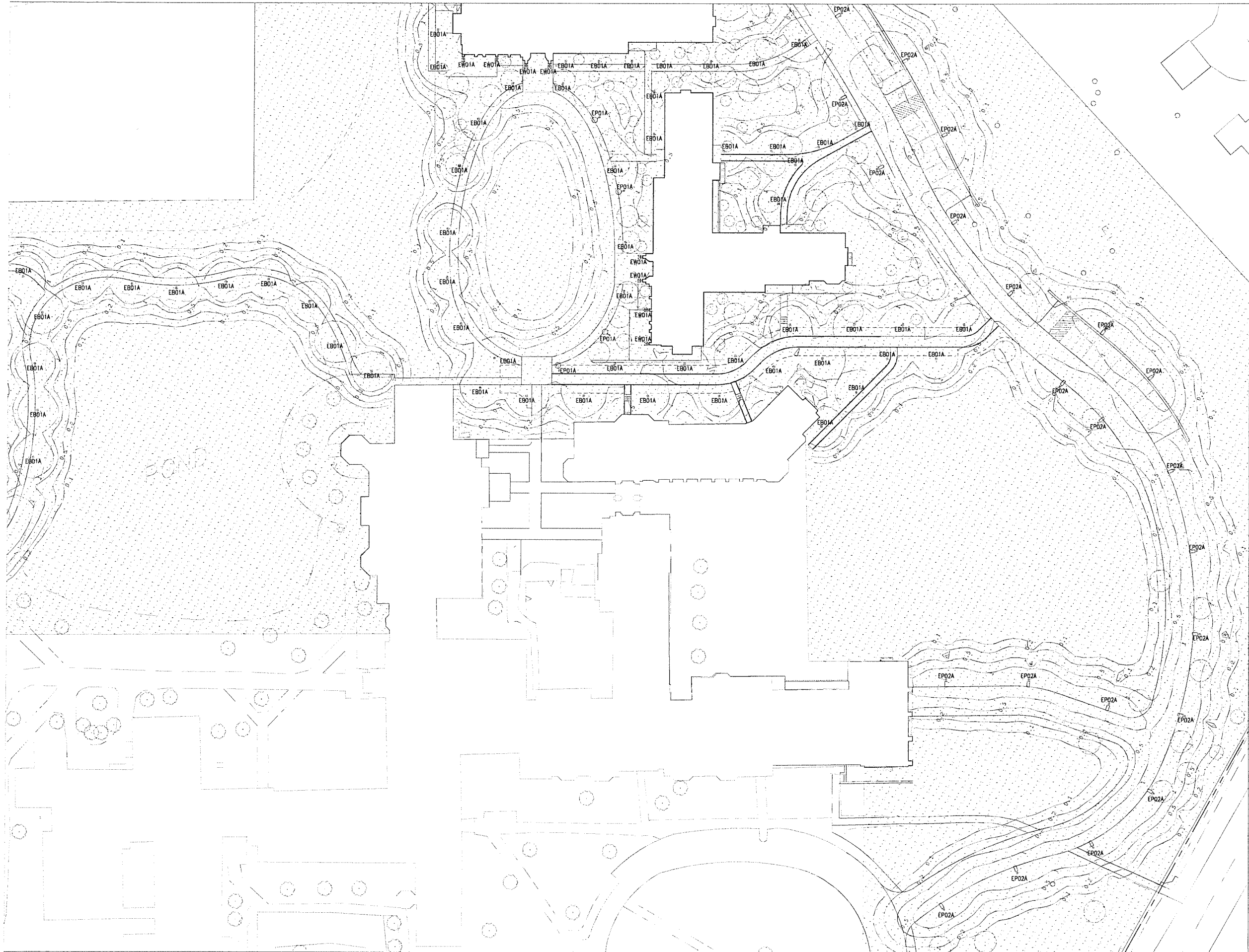
**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title North Site
Lighting Plan
Photometry

Scale 1" = 30'-0"
Drawn By JOD

LI-1.1

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ZONING SUBMISSION
NOT FOR CONSTRUCTION
Revision
Date January 21, 2026
Title South Site
Lighting Plan
Photometry

Scale 1" = 30'-0"
Drawn By JOD

LI-1.2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

INDEX+

EB01A (1 of 2)

PERFORMANCE Lighting

INDEX+

16 300 5W 27K AM UNV N/A SE

33 270 5W 3K IG 120V 0-10V BABAA

XX 13W 35K IR ELV

180 18W 4K BK

90 5K WH

CC

WG

REVISION 14 06/23

Order Guide - INDEX+

Order code example: INDEX+ 16-120V-4K-AM-UNV

EB01A (2 of 2)

| Rollout Height | Distribution | Wattage | CCT | Finish | Voltage | Control | Accessories |
|----------------|--------------|---------|-----|--------|---------|---------|-------------|
| 16 | 300 | 5W | 27K | AM | UNV | N/A | SE |
| 33 | 270 | 5W | 3K | IG | 120V | 0-10V | BABAA |
| XX | 13W | 35K | IR | | ELV | | |
| 180 | 18W | 4K | BK | | | | |
| 90 | | 5K | WH | | | | |
| | | | CC | | | | |
| | | | WG | | | | |

REVISION 14 06/23

ASP530 LED

Street and Area Lighting

EP01A (1 of 3) we-ef

Description

Fixt. Class 1 H88. Marine grade die cast aluminum alloy. SCE superior optics protection including PCS hardware. 3.0 Power C.O.P. Certified Comprehensive Guards. Polyurethane finish with CAD optimized optics for superior illumination and glare control. Integral driver. Remotely supervised compatible. QCCP LED. Concept Fixture installed LED on a board.

Recommended mounting height 12-20 ft. depending on lamp type selected. Brackets to be installed separately.

Specify product with 7 digit product code. Finish Color Accessories, such as mounting bracket and electrical lead to be specified separately. (Example: XXX-XXXX-XXXX-XXXX) - XXX-XXXX-XXXX-XXXX

WE-EF LIGHTING USA, LLC
110 Waterbury Road, Watertown, MA 02159
Phone: 617-742-7422
Fax: 617-742-7423
www.we-eff.com

ASP530 LED

Street and Area Lighting

EP01A (2 of 3) we-ef

Configurations

| Light distribution | Part # | Light source | Delivered lumens | Beam Type | CP | Weight (lb) |
|----------------------|--------|------------------|------------------|-----------|----|-------------|
| Wall Type Pole Mount | 127152 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127153 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127154 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127155 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127156 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127157 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127158 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127159 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127160 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127161 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127162 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
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| | 127164 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127165 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127166 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127167 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127168 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127169 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127170 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
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| | 127178 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127179 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127180 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127181 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127182 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
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| | 127184 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127185 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127186 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127187 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127188 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127189 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127190 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127191 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127192 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127193 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127194 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127195 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127196 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127197 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127198 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127199 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127200 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |

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ASP530 LED

Street and Area Lighting

EP01A (3 of 3) we-ef

Mounting Accessories

Wall and pole brackets DA

| Bracket | Part # | CP | CP | D | H | Weight (lb) |
|------------------|--------|-----|----|-----|-----|-------------|
| DA150 Pole Mount | 127191 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127192 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127193 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127194 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127195 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127196 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127197 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127198 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127199 | 27° | 80 | 1.5 | 1.5 | 1.0 |
| DA150 Pole Mount | 127200 | 27° | 80 | 1.5 | 1.5 | 1.0 |

WE-EF LIGHTING USA, LLC
110 Waterbury Road, Watertown, MA 02159
Phone: 617-742-7422
Fax: 617-742-7423
www.we-eff.com

EB01A

Pole top luminaire: Asymmetric wide beam - Single

EP02A / EP02B (1 of 2) BEGA

Aluminum pole: Round Fixed Tapered High EPA

EP02A / EP02B (2 of 2) BEGA

REVISION 14 06/23

ASP530 LED

Street and Area Lighting

EW01A (1 of 6) we-ef

Description

Fixt. Class 1 H88. Marine grade die cast aluminum alloy. SCE superior optics protection including PCS hardware. 3.0 Power C.O.P. Certified Comprehensive Guards. Polyurethane finish with CAD optimized optics for superior illumination and glare control. Integral driver. Remotely supervised compatible. QCCP LED. Concept Fixture installed LED on a board.

Recommended mounting height 12-20 ft. depending on lamp type selected. Brackets to be installed separately.

Specify product with 7 digit product code. Finish Color Accessories, such as mounting bracket and electrical lead to be specified separately. (Example: XXX-XXXX-XXXX-XXXX) - XXX-XXXX-XXXX-XXXX

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ASP530 LED

Street and Area Lighting

EW01A (2 of 6) we-ef

Configurations

| Light distribution | Part # | Light source | Delivered lumens | Beam Type | CP | Weight (lb) |
|----------------------|--------|------------------|------------------|-----------|----|-------------|
| Wall Type Pole Mount | 127201 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127202 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127203 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127204 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127205 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127206 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127207 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127208 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127209 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127210 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127211 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127212 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127213 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127214 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127215 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127216 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127217 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127218 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127219 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127220 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127221 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127222 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127223 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127224 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127225 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127226 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127227 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127228 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127229 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127230 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127231 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127232 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127233 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127234 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127235 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127236 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127237 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127238 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127239 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127240 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127241 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127242 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127243 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127244 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127245 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127246 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127247 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127248 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127249 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127250 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127251 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127252 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127253 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127254 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127255 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127256 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127257 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127258 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127259 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127260 | 08-12-040-7000-4 | 2520 | 27° | 80 | 31.23 |
| | 127261 | 08-12-040-7000-4 | 4500 | 27° | 80 | 31.23 |
| | 127262 | 08-12-040-7000-4 | 2520 | 27 | | |



Town of Watertown Connecticut
Conservation Commission/ Inland Wetland Agency
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5266
www.watertownct.org

Conservation Commission / Inland Wetland Agency
Town of Watertown, Connecticut

Application for Permit

Permit Application Number: 2026-02

Property location: 30 Bussemey Ave

INSTRUCTIONS

All applicants must complete Section 1 of this application form for preliminary review. If the Agency determines that the activity described constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section 1, the applicant may submit any other supporting documents or facts which may assist the commission in its evaluation of the proposal. Incomplete applications will be rejected by the commission.

1. **Name of Applicant:** TFF Services LLC - Tyler Falcone
Business or Home Address: 950 Pearl Lake Rd
Waterbury, CT 06706
Telephone #: 203-982-0978 **Mobile#:** _____
Email: TFF Services LLC@gmail.com

2. **Applicant's Interest in Land:**
 Owner Lessee Contract Purchases Other - Please Describe
Contractor
Doing Job

3. **Name of Property Owner:** Tina Whiteway
Address: 30 Bussemey Ave
Telephone #: _____ **Mobile** 860-605-8082
Email: Harley265@gmail.com

4. Name of Authorized Agent: Tyler Falcone - TFF Services LLC
Address: 950 Pearl Lake Rd
Waterbury, CT 06706
Telephone #: _____ Mobile: 203-982-0978
Email: TFFSERVICESLLC@gmail.com

5. Property owner's consent to the activities proposed in this application:
[Signature] Date: 2/3/2021

6. Geographical Location of subject property:
64

- A. Attach a vicinity map prepared at a scale of one-inch equals 1,000 feet, or larger, which is of sufficient detail to allow identification of the property on the Inland Wetlands and Water Courses Map, Town of Watertown, Connecticut.
- B. Is the property located within 500 feet of any adjoining town or city boundary?
Yes or (No)

If yes, identify municipalities:

- Bethlehem Middlebury Morris Thomaston Waterbury Woodbury

7. Purpose and Description of the Proposed Activities, Use or Operation.

- A. List below or attach a narrative describing the proposal including area computations of all wetlands, watercourses, and upland review areas to be altered; type and volume of material to be deposited or removed, separating distances between proposed regulated activities and wetlands and/or top of bank of any watercourses. Attach a site development plan.

Haul in 1-2 Triaxle Dump truck loads of boulders
To be placed and stacked on the eroding edge/section
of Property bordering the water to help prevent/stop
further erosion of the property

B. Provide a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the requested activity. Attach drawings or diagrams which show the alternatives considered.

N/A

C. Steps taken to avoid or minimize impacts to wetlands and upland review area.

N/A

D. List any mitigation or enhancement measures if avoidance is not possible.

N/A

E. Provide a report from a qualified soil scientist.

F. Describe the proposed erosion and sediment control plan.

using Boulders to Further Prevent Erosion

PLEASE ANSWER THE FOLLOWING STATEMENTS

8. The applicant shall certify the following information by circling the appropriate word(s).

A. Traffic attributable to the completed project on the site (will/will not) use streets within an adjoining municipality to enter the site. YES OR **(NO)**

B. Sewer or water drainage from the project site (will/will not) flow through and impact the sewage or drainage system of another municipality. YES OR **(NO)**

C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality. YES OR **(NO)**

9. Complete the following section if the purpose of this application is to transfer, amend/ modify a previously issued permit:

A. Name of current permittee: Tyler Falcone

B. Agency number of existing permit: 0

C. Initiation date of existing permit: N/A

D. Expiration date of existing permit: N/A

10. Complete the attached D.E.E.P. reporting form.

11. The undersigned hereby consents to necessary and proper inspections of above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.

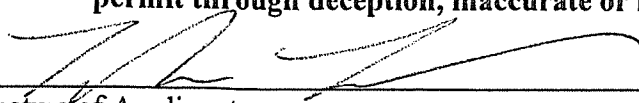


Signature of Property Owner

2/3/2026

Date:

12. The undersigned attest that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.



Signature of Applicant

2-3-2026

Date:

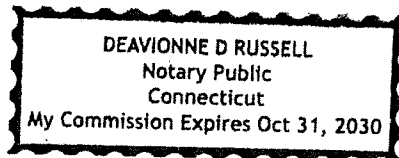
AFFIDAVIT

I, Tyler Fabone of TFF Services LLC hereby depose and

say:

1. That I am over the age of 18 and believe in the obligation of an oath;
2. That I am the Owner of TFF Services LLC,
3. That I have an application pending before the Conservation Commission/ Inland Wetlands Agency which is subject to Section 9.4.a. to 9.4.i. of the Watertown Inland Wetlands and Watercourses Regulations concerning the posting of public hearing notices;
4. That I have fully complied with the regulation concerning posting of public hearing notices.

Subscribed and sworn to before me, this 3 day of February, 2020.



Deavonne D Russell

Commissioner of the Superior Court
Notary Public
My Commission Expires:

Inland Wetland Fee Schedule

Residential uses means activities carried out on property developed for permanent housing or being developed to be occupied by permanent housing.

Commercial and industrial uses means activities carried out on property developed for industry, commerce, trade, recreation or business or being developed to be occupied for such purposes, for profit or nonprofit.

An additional \$60.00 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.

Other uses means activities other than residential, commercial or other industrial uses.

| | |
|----------------------------|---------|
| Permitted uses as of right | \$0.00 |
| No regulated uses | \$35.00 |

REGULATED USES

Residential Uses

| | |
|---|----------|
| Single Lot | \$125.00 |
| Proposed Subdivisions Plus \$50.00 per each proposed lot | \$250.00 |

Commercial and Industrial Uses

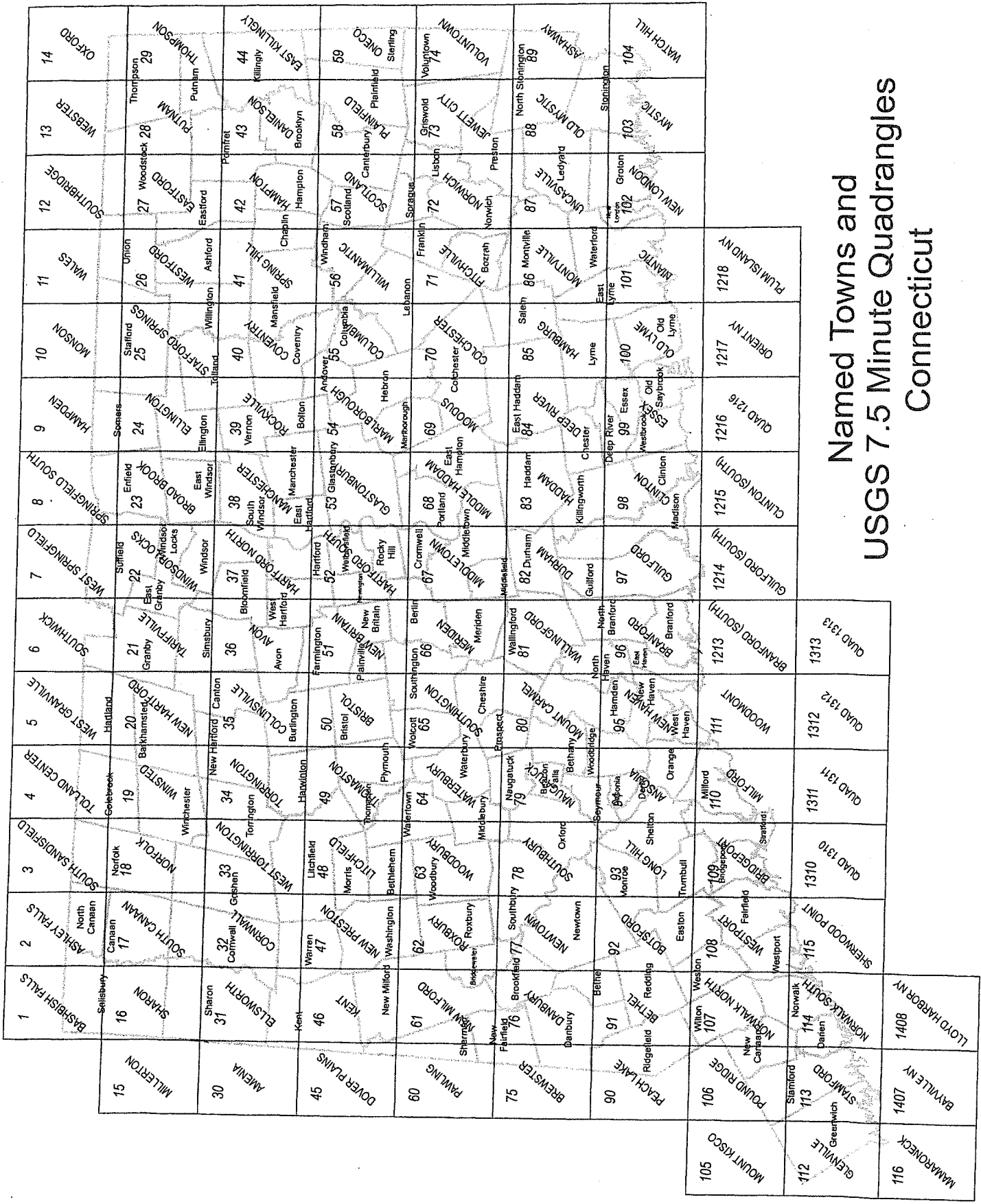
| | |
|---|----------------------------|
| Regulated Area Plus \$25.00 per acre of regulated area | \$250.00 |
| All other uses | \$150.00 |
| Significant Activity fee/ Public Hearing Fee | \$350 .00 |
| Map Amendment Petitions | \$200.00 plus \$25.00/acre |
| Modification of Previous Approval | \$100.00 (Permit Approval) |
| Transferal of an Existing Permit | \$50 |

No application shall be granted or approved by the Conservation Commission/ Inland Wetland Agency unless the correct application fee is paid in full or unless a waiver has been granted by the Conservation Commission/ Inland Wetland Agency pursuant to subsection 4.14 of the Town Fee Ordinance #09-20-93-134.

The application fee is not refundable. Fees shall be paid by either cash, check or creditcard.

All checks should be made payable to the 'Town of Watertown. Prior to holding a public hearing, the \$350.00 significant activity fee (public hearing fee) must be paid to the Planning and Zoning Office prior to the public hearing being scheduled and advertised in the newspaper.

An application will be considered incomplete if all the required fees are not paid.



Named Towns and USGS 7.5 Minute Quadrangles Connecticut

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

*Use a separate form to report EACH action taken by the Agency. Complete the form as described below.
Do NOT submit a reporting form for withdrawn actions.*

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).

A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
B = Any Permit Denied by the Inland Wetlands Agency
C = A Permit Renewed or Amended by the Inland Wetlands Agency
D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.
Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>
ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: https://media.clear.uconn.edu/data/watershed_maps/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): Oakville
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: 64
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Tyler Fabrone - TFF Services LLC
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): Tina Whiteaway - 30 Rossemey Ave
briefly describe the action/project/activity (check and print information): temporary permanent description: Place
Boulders on edge of yard to prevent further erosion
- ACTIVITY PURPOSE CODE (see instructions - one code only): J
- ACTIVITY TYPE CODE(S) (see instructions for codes): S, _____, _____, _____
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: 60 linear feet acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): _____ acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: www.watertownct.org



SITE WALK/FIELD INSPECTION REQUIREMENTS

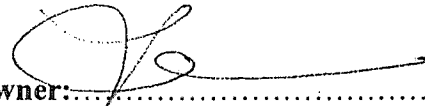
Dear Applicant/ Applicant Representative:

Please be advised that pursuant to Section 7 Article VII of the By-laws of Conservation Commission/ Inland Wetland Agency of Town of Watertown (the Agency) when the Agency determines that a field inspection/ site walk is appropriate, the Agency will set a time and place at the convenience of its members to gain on site knowledge of the proposed activities. The applicant or his agent/ representative, the design engineer and the Soil Scientist who delineated and flagged the wetlands/watercourses shall be present and the following shall be provided:

1. Adequate and safe access to the property
2. All wetlands and watercourses (permanent and intermittent) on the site shall be delineated and flagged by a certified Soil Scientist. Soil Scientist report shall be submitted with the application.
3. All building locations, access ways, onsite septic system locations and other regulated activities shall be marked on the site.
4. A copy of the proposed Site Plan shall be available on the site during the site walk/field inspection.

No testimony may be taken on the site walk/field inspection by the Commission.

Signature of Applicant:  Date: 2-3-2026

Signature of Property Owner:  Date: 2-3-2026

Carol Allen

From: CAWS <info@ctwetlands.org>
Sent: Thursday, January 8, 2026 1:17 PM
To: Carol Allen
Subject: Wetlands Conference (save the date), grants, and more



Save the date! CAWS Annual Meeting and Wetlands Conference – March 4, 2026



The Connecticut Association of Wetland Scientists will host its **2026 Annual Meeting and wetlands conference on Wednesday, March 4, 2026** at Aqua Turf Club in Southington, CT. We anticipate opening registration at the end of January. For now, we hope you will **SAVE THE DATE** and plan on joining us for a day of learning, networking, and collaboration with wetland professionals and enthusiasts.

Annual Meeting Sponsors and Exhibitors Wanted

Make an impression on those involved in the study and management of wetlands and other conservation lands. Exhibitor tables are \$400, while 501c3 organizations and government agencies may exhibit for the discounted rate of \$200. Sponsorships include logo branding and other benefits. Learn more about [exhibitor and sponsor opportunities!](#)

Call for Presentations

CAWS wants to hear from you!! We have reserved some slots in our Annual Meeting for engaging presentations from colleagues in the profession. Do you have an interesting project or research endeavor that would be of interest to a room full of (200+) wetland professionals? Our audience is composed of professional soil scientists and wetland scientists, municipal wetland officers and commission members, conservation and land trusts members, consultants, state employees, and related vendors.

We are particularly interested in participation from speakers who could present a short slide deck on one focused aspect of a larger project — such as site analysis... design... permitting... construction... mitigation... maintenance... and then participate as a panelist to field questions and discuss lessons learned.

To submit your topic for consideration, please send a short abstract by **January 21** to wetlands@ctwetlands.org. Invited speakers will gain free access to the conference.

CAWS Grants

CAWS offers two \$1,500.00 annual grants each year, the Michael Lefor and the Les Mehrhoff Grants. Please help us spread the word to those who might be able to take advantage!

Michael Lefor PhD Grant

The Michael Lefor PhD Grant provides support for research conducted by a qualified undergraduate or graduate student from an accredited college or university in Connecticut. Research topics can include wetland or aquatic ecology, wetland or aquatic invasive species, stream or river ecology, fluvial geomorphology, limnology, watershed studies, or wetland law or policy. The student need not be a member of CAWS to apply.

Les Mehrhoff Grant

The Les Mehrhoff Grant provides support for on-the-ground preservation efforts or invasive control efforts conducted by non-profit, community groups, or individuals directed at preserving plant biodiversity within Connecticut. The recipient/group need not be a member of CAWS in order to apply. Ideal candidates would include land trusts, garden clubs, citizen and student conservation organizations, and related groups

Applications must be emailed to wetlands@ctwetlands.org by **February 23**. Winners will be announced at the conference on **March 4**.



JOIN THE CAWS!

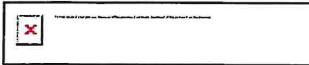
CAWS membership is geared toward all wetland professionals, managers, and enthusiasts, including wetland scientists and soil scientists, municipal wetland officers and commission members, engineers, landscape architects

and other consultants, attorneys, state regulators, students, and members of the general public with an interest in wetland science. Membership in CAWS provides a forum for the exchange of ideas, research, consulting, and regulatory-related issues, among other wetland-related interests.

There are four levels of membership based on experience, education and participation in CAWS. Learn more by downloading our [Membership Form](#); or simply access our [Online Form](#) to join CAWS today!

JOIN CAWS TODAY!

THANK YOU for your support of CAWS! Please forward this email to others who may be interested!



CT Association of Wetland Scientists
info@ctwetlands.org
www.ctwetlands.org

The Connecticut Association of Wetland Scientists was established in 1997 to promote the study and understanding of wetland science, expand the wetland science research base, and encourage the free exchange of scientific and technical information within the public and private communities. Learn more: www.ctwetlands.org.

Connecticut Association of Wetland Scientists | 100 Pearl Street | Hartford, CT 06103 US

[Unsubscribe](#) | [Constant Contact Data Notice](#)

CONNECTICUT
Land Conservation Council

January 5, 2026

Watertown Conservation & Inland Wetlands Commission
61 Echo Lake Rd
Watertown, CT 06795-2638

Dear Members of Watertown Conservation & Inland Wetlands Commission,

Across Connecticut, municipal conservation and inland wetland commissions play a vital role in protecting open space and natural resources. At the Connecticut Land Conservation Council (CLCC), we are proud to stand beside you in this work — connecting local efforts like yours to a strong, statewide community dedicated to keeping land conservation a priority at every level of government.

As part of our recent efforts to strengthen and clarify how we serve our partners, CLCC formalized a *Land Trust Membership Program* for Connecticut's land trusts. Through that process, we realized that municipal land use commissions — longtime supporters and collaborators in our work — were left without a clear way to stay connected.

Your leadership and partnership have always been an essential part of Connecticut's conservation story, and we're excited to reestablish that connection through our new *Municipal Commission Affiliate Program*.

By joining as an Affiliate, your commission will remain an active part of the statewide conservation community — gaining access to educational resources, networking opportunities, and discounted registration for the Connecticut Land Conservation Conference, while directly supporting the advocacy that benefits your town and others across the state.

Importantly, your affiliation helps sustain CLCC's work at the State Capitol, where we advocate tirelessly for continued and increased funding for the Open Space and Watershed Land Acquisition (OSWA) Grant Program and other critical conservation initiatives. OSWA has helped dozens of municipalities acquire and protect the lands that define their communities.

When commissions like yours affiliate with CLCC, you strengthen that collective voice for open space funding and ensure that Connecticut's commitment to conservation remains strong.

We've enclosed a one-page overview of the Affiliate Program outlining the benefits, dues structure, and how to get started.

We hope your commission will join CLCC as an Affiliate this year — reconnecting with colleagues across the state, accessing valuable resources, and standing united for the lands and waters that make Connecticut such a special place to call home.

With warmest regards,

A handwritten signature in black ink, appearing to read 'Amy', written in a cursive style.

Amy Blaymore Paterson
Executive Director

P.S. Your commission's affiliation helps keep the conservation community strong, visible, and united — both locally and statewide. Thank you for your partnership and leadership in protecting Connecticut's open spaces.

CONNECTICUT
Land Conservation Council

About the Municipal Commission Affiliate Program

WHO IS ELIGIBLE TO BECOME AN AFFILIATE? CLCC welcomes applications for affiliation from municipal commissions that support land conservation in Connecticut. Land trusts are not eligible for affiliation and should refer to CLCC's land trust membership program.

WHY JOIN CLCC AS AN AFFILIATE? Joining as an affiliate connects your commission to statewide conservation efforts. Affiliates also receive benefits, including resources and discounted access to the Connecticut Land Conservation Conference. Please see the reverse side for details.

HOW CAN I MAKE THE CASE FOR AFFILIATION? Affiliation demonstrates your commission's commitment to conservation, provides access to resources and networking opportunities, and gives your group a stronger voice in statewide advocacy. It's also a way to show visible support for CLCC's work while directly benefiting from the tools and connections CLCC provides.

WHAT ARE THE ASSOCIATED DUES? Dues are based on the affiliate's annual operating expenses. Please review the dues schedule on the reverse side for details.

HOW LONG DOES AFFILIATION LAST? Affiliation lasts for the duration of a calendar year. Renewal notices are sent out annually in January, and applicant commissions are considered affiliates through the end of the calendar year. CLCC does not pro-rate or extend affiliation for applications made later in the year.

Affiliation Benefits

| Online Resources | |
|--|-------------------|
| Grant Opportunities Database, CT Conservation Job Board, Conservation Service Provider Directory, and more | ✓ |
| Resource Library, including workshop recordings, sample documents, and other helpful conservation resources | ✓ |
| Access to CT Land Trust ListServ | ✓ |
| Conference-Related Benefits | |
| Discounted access* to the largest conservation gathering in Connecticut | ✓ |
| Advocacy | |
| Timely updates on important legislation and conservation issues, both at the State and Federal level, via CLCC eNews | ✓ |
| A voice for land conservation at the State Capitol | ✓ |
| Other CLCC Resources | |
| Practical assistance from CLCC staff | ✓ |
| Free printed copies of CLCC publications, by request | ✓ - 5 Copies/Year |

**Discounted registration fees apply only to current commission members*

2026 Dues Schedule

| Annual Operating Expenses | Annual Dues | Defining Annual Operating Expenses |
|---------------------------|-------------|--|
| Under \$10,000 | \$100 | Annual operating expenses are defined as the annual expenses that support the general, year-over-year function of your commission or department. |
| \$10,001 - \$25,000 | \$250 | |
| \$25,001 - \$50,000 | \$500 | |
| \$50,001 - \$100,000 | \$750 | |
| \$100,001 and over | \$1000 | |

Land trusts are not eligible for affiliation and should refer to CLCC's land trust membership program. CLCC defines land trusts as nonprofit organizations that: 1) Hold conservation interests; 2) have a primary mission of conserving land and stewarding that land in perpetuity; and 3) identify themselves as land trusts.

CONNECTICUT Land Conservation Council

2026 Municipal Commission Affiliate Application

You can also apply and pay online by visiting ctconservation.org/ways-to-give/affiliate

Contact Information

Please note: a complete application is required to activate your affiliate status

Municipality Name: _____

Commission Name: _____

Mailing Address: _____

City: _____ State: _____ ZIP: _____

Commission Phone: _____ Commission Email: _____

Chair Name: _____ Chair Email: _____

Affiliate Dues

| Annual Operating Expenses | Annual Dues <i>Check the appropriate box</i> | Defining Annual Operating Expenses |
|---------------------------|---|--|
| Under \$10,000 | <input type="checkbox"/> \$100 | Annual operating expenses are defined as the annual expenses that support the general, year-over-year function of your commission. |
| \$10,001 - \$25,000 | <input type="checkbox"/> \$250 | |
| \$25,001 - \$50,000 | <input type="checkbox"/> \$500 | |
| \$50,001 - \$100,000 | <input type="checkbox"/> \$750 | |
| \$100,001 and over | <input type="checkbox"/> \$1000 | |

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Please return this form to: Connecticut Land Conservation Council, 27 Washington Street, Middletown, CT 06457

BY-LAWS
CONSERVATION COMMISSION
INLAND WETLAND AGENCY



TOWN OF WATERTOWN
CONNECTICUT

CONSERVATION COMMISSION/INLAND WETLANDS AGENCY

Regular Members:

Craig Palmer, Chairperson
Tom Murphy, Vice Chairperson
Edwin Dalton, Secretary
Joe Polletta
George Touponse
Luigi Cavallo, Jr.
Pierre Moran

Alternate Members:

Charles Beliveau
Scott Tearman
Ed Norton

Adopted February 22, 1995
Revised April 26, 1995
Revised February 28, 1996
Revised March 27, 1996
Adopted April 24, 1996
Revised March 10, 2011
Revised March 14, 2013
Revised March 13, 2014
Revised January 11, 2018
Adopted July 9, 2020
Adopted August 12, 2021

Article I
Purpose and Authorization

The objective and purposes of the Conservation Commission/Inland Wetland Agency of the Town of Watertown, Connecticut, are those set forth in Chapter 440, Section 22a-36 through 22a-45, and Chapter 97 and 98, Section 8-131a, 7-148 (c) (8) (A) (B) (D) of the Connecticut General Statutes, latest revisions as amended, and those powers and duties delegated to Conservation Commission/Inland Wetland Agency by Town Ordinance Division 2. Section 2-131 through 2-137.

Article II
Name

The Commission shall be known as the Conservation Commission/Inland Wetland Agency, Town of Watertown, Connecticut.

Article III
Office of Agency

The Office of the Conservation Commission Inland Wetland Agency shall be located within the Land Use office, Watertown, Connecticut, where all Commission records will be kept. Copies of all official documents, records, maps, etc. will be filed or recorded in the Office of the Town Clerk.

Article IV
Membership

The Conservation Commission/Inland Wetland Agency shall consist of seven (7) regular members and three (3) alternate members who shall be electors of the Town of Watertown. The Town Council shall appoint regular members and alternate members for a term of three (3) years. Any vacancy shall be filled by appointment of the Town Council to serve the unexpired term of the member whose office has been vacated. Alternate members shall, when seated as herein provided, have all the powers and duties set forth in the Connecticut General Statutes or any special act relating to Watertown for the Conservation Commission/Inland Wetland Agency and its regular members. If a regular member is absent or disqualified, the Chairperson of the Commission shall designate an alternate to so act, choosing alternates in rotation so that they shall act as nearly equal a number of times as possible. If any alternate is not available in accordance with such rotation, such fact shall be recorded in the minutes of the meeting. All Alternates may be involved in discussions included on the agenda, but may not vote unless designated to act as a regular member by a Chairperson

The Conservation Commission/Inland Wetland Agency will request that the Watertown Town Council seek the resignation of any Commission member who fails to attend three (3) consecutive regular meetings without good cause. Such request will be made only after a 2/3 vote of the voting members of the entire Commission. "Resignations from the Commission shall

be in written form. The original resignation letter should be delivered to the Town Clerk, who will make copies available to the Chairperson, the Wetlands Enforcement Officer, the Chairpersons of the respective Town Committees, and the Chairperson of the Town Council". Sample letter of resignation on file in the Office of the Conservation Commission/Inland Wetland Agency.

Article V Officer and Their Duties

- Section 1. The Officers of the Commission shall consist of a Chairperson, Vice Chairperson and a Secretary.
- Section 2. The Chairperson shall preside at all meetings and hearings of the Commission and shall have the duties normally conferred by parliamentary usage on such Officers. The Chairperson shall have the authority to appoint committees, call Special Meetings, and generally perform other duties as may be prescribed in these by-laws.
- Section 3. The Chairperson shall be one of the Commission members and shall have the privilege of discussing all matters before the Commission and of voting thereon.
- Section 4. The Vice Chairperson shall act for the Chairperson in the absence of the Chairperson, and have the authority to perform the duties prescribed for that office. The Vice Chairperson shall be a Commission Member.
- Section 5. The Secretary, with staff assistance, shall keep the minutes and records of the Commission, shall prepare the agenda of regular and special meetings under the direction of the Chairperson, shall provide notice of all meetings to Commission members, shall arrange proper and legal notice of hearings; shall attend to correspondence of the Commission, and shall perform other duties as normally carried out by a Secretary. The Secretary shall act for the Chairperson in the absence of the Chairperson and Vice Chairperson and shall have the authority to perform the duties prescribed for that office. The Secretary shall be a Commission member.
- Section 6. In the absence of the Secretary, due to illness, personal or disqualification reasons, the Chairperson shall appoint a Secretary pro-tem who shall be a commission member.
- Section 7. In the absence of all elected officers of the Commission, the longest continuously serving member of the Commission shall preside as Chairperson at a duly called meeting, and shall have the duties normally conferred by parliamentary usage of such Officer.

Section 8. The Conservation Commission/Inland Wetland Agency shall have all powers and duties set forth in the Connecticut General Statutes or any special act relating to the Town of Watertown with respect to conservation and inland wetland matters.

Section 9. Conflict of Interest and Predisposition: In accordance with Section 22a-42(c) of the Connecticut General Statutes, all commission members shall follow the following statute:

“...No Member or alternate member of such board or commission shall participate in the hearing or decision of such board or commission of which he is a member upon any matter in which he is directly or indirectly interested in a personal or financial sense. In the event of such disqualification, such fact shall be entered on the records of such board or commission and replacement shall be made from alternate members of an alternate to act as a member of such commission in the hearing and determination of the particular matter or matters in which the disqualifications arose.”

Article VI Election of Officers

Section 1. An annual organizational meeting shall be held on the first meeting date in February, at which time officers will be elected and by-laws reviewed and be made a part of the minutes of the annual meeting. If for some reason elections of officers do not take place, then refer to Article V, Section 7 as to who will preside over the meeting.

Section 2. Two-thirds (2/3) or five (5) of the voting members must be present before election of officers can take place. If two-thirds (2/3) of the members are not present, the election of officers will be held at the next scheduled meeting in March.

Section 3. Nominations shall be made from the floor at the organizational meeting and election of the officers specified in Section 1 of Article V shall follow immediately thereafter.

Section 4. A candidate receiving a majority vote from the voting membership of the Commission shall be declared elected and shall serve for one year or until a successor shall take office.

Section 5. Vacancies in offices shall be filled by regular election procedure described above in Section 2, 3, and 4.

Article VII Meetings

Section 1. Regular meetings will be held on the second Thursday of each month at 6:30 P.M. as a place voted by a majority of members of the Commission. In the event of conflict with holidays or other events, a majority at any meeting may change the date of said meeting. The Secretary shall notify the membership of regular meetings not less than 48 hours in advance of such meeting.

In accordance with the Freedom of Information Act, agendas for special meetings must be posted a minimum of 24 hours prior to a special meeting being held by the Agency. Special Meeting agendas may not be amended by the Agency at the special meeting once they are posted in the Town Clerk's Office. The notice of such a meeting shall specify the purpose of such a meeting, and no other business may be considered.

Section 2. Four members of the Commission shall constitute a quorum and the number of votes necessary to transact business.

Section 3. All Commission meetings shall be open to the public when in session except when in executive session.

Section 4. Executive sessions may be held upon an affirmative vote of two-thirds (2/3) of the members of the Commission present and voting taken at a public meeting and stating the reason for the executive session as defined in Section 1-200 (6) of the Connecticut General Statutes.

Section 5. The minutes shall be recorded by a sound recording device at each meeting of the Commission. Proceedings of meetings shall be incorporated into the minute's book of the Commission to be a permanent part of the record.

Section 6. Unless otherwise specified, Robert's Rules of Order dated September 2020, (latest revision) shall govern the proceedings at the meetings of this Commission.

Section 7. Field Inspections. When the commission determines that a field inspection is appropriate, the Commission shall set a time and place at the convenience of the members to gain on site knowledge of the proposed activity. The applicant or his agent shall be present and the following shall be provided:

1. Adequate access to the property;
2. All wetlands on the site shall be delineated and flagged by a certified Soil Scientist and the soil scientist report shall be provided; and
3. All building locations shall be marked.

No testimony may be taken on the field inspection by the Commission.

Article VIII
Order of Business

Section 1. Unless otherwise determined by the Chairperson, the order of business at regular meetings shall be:

1. Call meeting to order
2. Roll call;
3. Public participation;
4. Action on minutes;
5. Pending applications;
6. New applications;
7. Old business;
8. New business
9. Communications and bills;
10. Reports from officers and committees
11. Reports from staff
12. Public participation
13. Adjournment

Section 2. A motion from the floor must be made and passed in order to dispense with any item on the agenda or change the order of business.

Section 3. No new business submitted for action by the Commission shall be acted upon unless it is submitted at least three (3) or more days prior to a regular meeting date. Provisions of this section may be waived by a two-thirds (2/3) vote of the members present.

Article IX
Hearings

Section 1. The Commission may hold optional public hearings, in addition to required hearings, when it decides that such hearings will be in the public interest.

Section 2. All public hearings prescribed by law shall be held in accordance with the requirement set forth for such hearings in Chapter 440, Section 22a-36 through 22a-45 of the Connecticut General Statutes.

Section 3. A competent stenographer shall take the evidence or the evidence shall be recorded by a sound recording device and audio visual if operable at each hearing before the Commission. Proceedings of the hearing shall be incorporated into the minute's book of the Commission to be a permanent part of that record.

Article X
Conducting The Public Hearing

- Section 1.** The Chairperson of the Commission shall preside at the public hearing, or if absent, the Vice Chairperson or a duly appointed Commission member shall act as a presiding officer as set forth in Article V of the By-Laws.
- Section 2.** The Secretary shall read the legal advertisement and note the dates and the newspapers in which the advertisement appeared. The reading of the legal advertisement may be dispensed with by a majority vote of the Commission.
- Section 3.** A summary of the question or issue shall be stated by the applicant or designated agent at the opening of the public hearing. Comments shall be limited to the subject advertised. In any event, the Commission shall have the privilege of speaking first. The Chairperson shall describe the method by which the hearing shall be conducted.
- Section 4.** The Chairperson shall first call for statements from the proponents. The opponents shall be given equal opportunity to comment. The order is reversible, at the discretion of a majority of the Commission Members present. Whichever the case may be, each group shall make its presentation in succession without allowing an intermixture of comments pro or con.
- Section 5.** It shall be made clear at the hearing that all questions and comments must be directed through the chair only after being properly recognized by the presiding officer.
- Section 6.** All persons recognized shall approach the hearing table in order to facilitate proper recording of comments. Before commenting in the matter before the hearing, each person shall give his name and address.
- Section 7.** The presiding officer shall assure an orderly hearing and shall take necessary steps to maintain the order and decorum of the hearing at all times. In the event the hearing becomes unruly or unmanageable, the presiding officer shall reserve the right to act in accordance with Section 1-21h of the Connecticut General Statutes to restore order and adjourn the hearing to another time or place.

Article XI
Wetland Enforcement Officer

- Section 1.** The Wetland Enforcement Officer or his designated agent shall carry out the duties as directed by the Chairperson of the Conservation Commission/Inland Wetland Agency upon majority vote of the Commission.

Section 2. Within the limits of the funds available for its use, the Commission may employ such consultants as it deems fit to aid the Commission in its work.

Section 3. The Wetland Enforcement Officer shall attend all Commission meetings. In the absence of the Wetland Enforcement Officer, due to illness, personal or disqualification reasons, the Land Use Administrator shall attend the commission meetings.

Section 4. Town Engineer will attend when needed at the discretion of the Wetlands Enforcement Officer and the Chairperson.

Article XII Committees

Section 1. Special committees may be appointed by the Chairperson for the purpose and terms which the Commission approves.

Article XIII Public Relations

Section 1. The Chairperson or a duly appointed Commission member or staff personnel shall act as public relations or publicity director for the Commission. His duties include the preparation of all news releases to be distributed to the communications media.

Section 2. In the matter of the press, radio and television representatives, the Commission shall comply with Section 226 of the Connecticut General Statutes as amended.

Article XIV Use of Electronic Devices

Except as provided below, cell phones and all other electronic devices should be turned off or at least silenced during the meeting and should not be used or consulted except in case of a family or other emergency. It is preferable if all electronic devices are turned off entirely during the meeting. Texting, emailing or conversing on any social media or other media platform during a meeting is to be avoided and any electronic communications with anyone whether a member of the commission or not about matters before the commission at the meeting are forbidden entirely. If a commissioner must take a phone call or a text he should excuse himself from the room. Notwithstanding the foregoing, the use of a tablet or other device for purposes of keeping one's personal notes is permissible.

Article XV
Amendments

These By-Laws may be amended by two-thirds (2/3) or more affirmative votes of the entire membership of the Commission, only after the proposed change has been read and discussed at the previous regular meeting.